

Stuart Robinson.  
15 Greenbank Drive  
Edinburgh  
EH10 5RE

Mr Michael Duffy.  
59 North Gyle Loan  
Edinburgh  
Scotland  
EH12 8LB

**Decision date: 1 December 2020**

TOWN AND COUNTRY PLANNING (SCOTLAND) ACTS  
**DEVELOPMENT MANAGEMENT PROCEDURE (SCOTLAND) REGULATIONS 2013**

1 1/2 storey extension to the side. New dormers to 1st floor. Single storey flat roof extension to the rear. Re tile existing roof in dark grey to match extension.  
At 59 North Gyle Loan Edinburgh EH12 8LB

**Application No:** 20/04212/FUL

**DECISION NOTICE**

With reference to your application for Planning Permission registered on 2 October 2020, this has been decided by **Local Delegated Decision**. The Council in exercise of its powers under the Town and Country Planning (Scotland) Acts and regulations, now determines the application as **Refused** in accordance with the particulars given in the application.

Any condition(s) attached to this consent, with reasons for imposing them, or reasons for refusal, are shown below;

**Conditions:-**

**Reasons:-**

1. The proposal in scale, form and position is a dominant addition that overwhelms the existing property harmful to its character and appearance. The proposed scale is discordant in the context of the street and harmful to the existing neighbourhood character. The proposal is contrary to LDP policy Des 12 (Alterations and Extensions) and the non-statutory guidance.

Please see the guidance notes on our [decision page](#) for further information, including how to appeal or review your decision.

Drawings 01, 02, 03, 04, 05, 06, represent the determined scheme. Full details of the application can be found on the [Planning and Building Standards Online Services](#)

The reason why the Council made this decision is as follows:

This determination does not carry with it any necessary consent or approval for the proposed development under other statutory enactments.

Should you have a specific enquiry regarding this decision please contact Lewis McWilliam directly at [lewis.mcwilliam@edinburgh.gov.uk](mailto:lewis.mcwilliam@edinburgh.gov.uk).

*D R Leech*

**Chief Planning Officer**  
**PLACE**  
**The City of Edinburgh Council**

## NOTES

1. If the applicant is aggrieved by the decision to refuse permission for or approval required by a condition in respect of the proposed development, or to grant permission or approval subject to conditions, the applicant may require the planning authority to review the case under section 43A of the Town and Country Planning (Scotland) Act 1997 within three months beginning with the date of this notice. The Notice of Review can be made online at [www.eplanning.scot](http://www.eplanning.scot) or forms can be downloaded from that website. Paper forms should be addressed to the City of Edinburgh Planning Local Review Body, G.2, Waverley Court, 4 East Market Street, Edinburgh, EH8 8BG. For enquiries about the Local Review Body, please email [localreviewbody@edinburgh.gov.uk](mailto:localreviewbody@edinburgh.gov.uk).

2. If permission to develop land is refused or granted subject to conditions and the owner of the land claims that the land has become incapable of reasonably beneficial use in its existing state and cannot be rendered capable of reasonably beneficial use by carrying out of any development which has been or would be permitted, the owner of the land may serve on the planning authority a purchase notice requiring the purchase of the owner of the land's interest in the land accordance with Part 5 of the Town and Country Planning (Scotland) Act 1997.

# Report of Handling

**Application for Planning Permission**  
**59 North Gyle Loan, Edinburgh, EH12 8LB**

**Proposal: 1 1/2 storey extension to the side. New dormers to 1st floor. Single storey flat roof extension to the rear. Re tile existing roof in dark grey to match extension.**

**Item – Local Delegated Decision**  
**Application Number – 20/04212/FUL**  
**Ward – B03 - Drum Brae/Gyle**

## **Recommendation**

It is recommended that this application be **Refused** subject to the details below.

## **Summary**

## **SECTION A – Application Background**

### **Site Description**

-The proposal relates to a semi-detached bungalow located on the south-east side of North Gyle Loan. The site lies on a corner plot in a primarily residential area.

### **Description Of The Proposal**

-1 1/2 storey extension to the side. New dormers to 1st floor. Single storey flat roof extension to the rear. Re tile existing roof in dark grey to match extension.

### **Relevant Site History**

No relevant site history.

### **Consultation Engagement**

No Consultations.

### **Publicity and Public Engagement**

**Date of Neighbour Notification:** 13 October 2020

**Date of Advertisement:** Not Applicable

**Date of Site Notice:** Not Applicable

**Number of Contributors:** 0

## Section B - Assessment

### Determining Issues

Section 25 of the Town and Country Planning (Scotland) Act 1997 states - Where, in making any determination under the Planning Acts, regard is to be had to the development plan, the determination shall be made in accordance with the plan unless material considerations indicate otherwise.

Do the proposals comply with the development plan?

If the proposals do comply with the development plan, are there any compelling reasons for not approving them?

If the proposals do not comply with the development plan, are there any compelling reasons for approving them?

### Assessment

To address these determining issues, it needs to be considered whether:

- a) the proposed scale, form and design is acceptable and will not be detrimental to neighbourhood character;
- b) the proposal will cause an unreasonable loss to neighbouring amenity;
- c) any impacts on equalities or human rights are acceptable; and
- d) any comments raised have been addressed.

#### a) Scale, form, design and neighbourhood character

Edinburgh Local Development Plan policy Des 12 states, amongst other criteria, that permission will be granted for alterations and extensions that in their design and form, choice of materials and positioning are compatible with the character of the existing building and neighbourhood character.

The Guidance for Householders states in regard to bungalow extensions:

'Bungalow extensions should be designed in a way that retains the character of the original property and is subservient in appearance. Extensions must not imbalance the principal elevation of the property.'

In regard to design, 'Extensions should not overwhelm or dominate the original form or appearance of the house or detract from the character of the area.'

The proposal site is located on a corner plot at the junction between North Gyle Loan and North Gyle Park where the main property is visible from these locations. Garden space to the rear and partly to the side is screened by the height of the existing boundary hedge.

The principal elevation of the main house is of a symmetrical appearance to the adjoining property in terms of its gable roof form, scale, window detailing and materials.

This property type is replicated on North Gyle Loan to the south-west, with semi-detached bungalows of hipped roof form positioned between these. Predominantly, existing extensions to these property types are single storey, contained within the rear gardens or well setback from the street. The exception to this is 1 North Gyle Park, where an extension of similar form but lesser scale to the proposal has been constructed which predates current policy and guidance.

The two storey side extension mirrors the height, depth and width of the main property. It would sit flush with the existing principal elevation. The cumulative scale, mass and position of the extension lacks subservience to the main property, disruptive to the symmetry of the bungalow and pattern of development evident on the street.

To the south-east on North Gyle Park, the cumulative scale of the proposal would be visible from this location. The height of the proposed development (two storey and single storey) would exceed that of the proposed 1.8m boundary fence adjacent to the street. The proposed mass of development would overwhelm and dominate the original form of the house. It is a discordant addition in scale that it is not characteristic of these property types in the area. It would occupy a visible location and detract from the character of the area.

Negotiations took place, however the applicant wished the scheme to be determined.

The scale, form and position of the proposal is harmful to the character of the existing property and neighbourhood character. It is contrary to LDP policy Des 12 and the non-statutory guidance.

#### b) Neighbouring amenity

The proposals have been assessed against requirements set out in the non-statutory Guidance for Householders to ensure there is no unreasonable loss to neighbouring amenity with respect to privacy, overshadowing and loss of daylight or sunlight.

In regard to neighbour's amenity the proposals comply with Local Development Plan Policy Des 12 and the non-statutory Guidance for Householders.

#### c) Equalities and human rights

This application was assessed in terms of equalities and human rights. No impact was identified.

#### d) Public comments

No comments were received.

### **Section C - Conditions/Reasons/Informatives**

The recommendation is subject to the following;

#### **Conditions**

1. The proposal in scale, form and position is a dominant addition that overwhelms the existing property harmful to its character and appearance. The proposed scale is discordant in the context of the street and harmful to the existing neighbourhood character. The proposal is contrary to LDP policy Des 12 (Alterations and Extensions) and the non-statutory guidance.

### **Background Reading/External References**

To view details of the application go to the [Planning Portal](#)

**Further Information - [Local Development Plan](#)**

**Date Registered: 2 October 2020**

### **Drawing Numbers/Scheme**

01, 02, 03, 04, 05, 06

Scheme 1

**David R. Leslie**  
**Chief Planning Officer**  
**PLACE**  
**The City of Edinburgh Council**

Contact: Lewis McWilliam, Planning Officer  
E-mail: [lewis.mcwilliam@edinburgh.gov.uk](mailto:lewis.mcwilliam@edinburgh.gov.uk)

Appendix 1

**Consultations**

No consultations undertaken.

Business Centre G.2 Waverley Court 4 East Market Street Edinburgh EH8 8BG Email: [planning.support@edinburgh.gov.uk](mailto:planning.support@edinburgh.gov.uk)

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100312166-004

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

## Applicant or Agent Details

Are you an applicant or an agent? \* (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

Applicant  Agent

## Agent Details

Please enter Agent details

Company/Organisation:	<input type="text"/>		
Ref. Number:	<input type="text"/>	You must enter a Building Name or Number, or both: *	
First Name: *	<input type="text" value="Stuart"/>	Building Name:	<input type="text"/>
Last Name: *	<input type="text" value="Robinson"/>	Building Number:	<input type="text" value="15"/>
Telephone Number: *	<input type="text" value="07538838404"/>	Address 1 (Street): *	<input type="text" value="Greenbank Drive"/>
Extension Number:	<input type="text"/>	Address 2:	<input type="text"/>
Mobile Number:	<input type="text"/>	Town/City: *	<input type="text" value="Edinburgh"/>
Fax Number:	<input type="text"/>	Country: *	<input type="text" value="United Kingdom"/>
		Postcode: *	<input type="text" value="EH10 5RE"/>
Email Address: *	<input type="text" value="stuartdrobinson82@gmail.com"/>		

Is the applicant an individual or an organisation/corporate entity? \*

Individual  Organisation/Corporate entity

## Applicant Details

Please enter Applicant details

Title:	<input type="text" value="Mr"/>	You must enter a Building Name or Number, or both: *	
Other Title:	<input type="text"/>	Building Name:	<input type="text"/>
First Name: *	<input type="text" value="Michael"/>	Building Number:	<input type="text" value="59"/>
Last Name: *	<input type="text" value="Duffy"/>	Address 1 (Street): *	<input type="text" value="North Gyle Loan"/>
Company/Organisation	<input type="text"/>	Address 2:	<input type="text"/>
Telephone Number: *	<input type="text"/>	Town/City: *	<input type="text" value="Edinburgh"/>
Extension Number:	<input type="text"/>	Country: *	<input type="text" value="Scotland"/>
Mobile Number:	<input type="text"/>	Postcode: *	<input type="text" value="EH12 8LB"/>
Fax Number:	<input type="text"/>		
Email Address: *	<input type="text" value="REDACTED"/>		

## Site Address Details

Planning Authority:	<input type="text" value="City of Edinburgh Council"/>
Full postal address of the site (including postcode where available):	
Address 1:	<input type="text" value="59 NORTH GYLE LOAN"/>
Address 2:	<input type="text"/>
Address 3:	<input type="text"/>
Address 4:	<input type="text"/>
Address 5:	<input type="text"/>
Town/City/Settlement:	<input type="text" value="EDINBURGH"/>
Post Code:	<input type="text" value="EH12 8LB"/>

Please identify/describe the location of the site or sites

Northing	<input type="text" value="673054"/>	Easting	<input type="text" value="318348"/>
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## Description of Proposal

Please provide a description of your proposal to which your review relates. The description should be the same as given in the application form, or as amended with the agreement of the planning authority: \*  
(Max 500 characters)

1 1/2 storey extension to the side. New dormers to 1st floor. Single storey flat roof extension to the rear. Re tile existing roof in dark grey to match extension.

## Type of Application

What type of application did you submit to the planning authority? \*

- Application for planning permission (including householder application but excluding application to work minerals).
- Application for planning permission in principle.
- Further application.
- Application for approval of matters specified in conditions.

What does your review relate to? \*

- Refusal Notice.
- Grant of permission with Conditions imposed.
- No decision reached within the prescribed period (two months after validation date or any agreed extension) – deemed refusal.

## Statement of reasons for seeking review

You must state in full, why you are seeking a review of the planning authority's decision (or failure to make a decision). Your statement must set out all matters you consider require to be taken into account in determining your review. If necessary this can be provided as a separate document in the 'Supporting Documents' section: \* (Max 500 characters)

Note: you are unlikely to have a further opportunity to add to your statement of appeal at a later date, so it is essential that you produce all of the information you want the decision-maker to take into account.

You should not however raise any new matter which was not before the planning authority at the time it decided your application (or at the time expiry of the period of determination), unless you can demonstrate that the new matter could not have been raised before that time or that it not being raised before that time is a consequence of exceptional circumstances.

There has been similar extensions within the area. Some examples are 1 North Gyle Park, 87 North Gyle Loan, 47 North Gyle Grove, 69 North Gyle Loan, 79 North Gyle Loan, 67 North Gyle Loan, 97 North Gyle Loan, 93 North Gyle Loan. All proposed materials are in keeping with the area. The client was willing to discuss reducing the size of the extensions, but not by the area suggested by the Planning Officer, which was to reduce a third of both the side and rear extensions.

Have you raised any matters which were not before the appointed officer at the time the Determination on your application was made? \*

Yes  No

If yes, you should explain in the box below, why you are raising the new matter, why it was not raised with the appointed officer before your application was determined and why you consider it should be considered in your review: \* (Max 500 characters)

The address of previous extensions that have been made in the area

Please provide a list of all supporting documents, materials and evidence which you wish to submit with your notice of review and intend to rely on in support of your review. You can attach these documents electronically later in the process: \* (Max 500 characters)

2040-PL01 2040-PL02 2040-PL03 2040-PL04 2040-PL05 2040-LP 2040 - Application 2040 - Rejection

## Application Details

Please provide the application reference no. given to you by your planning authority for your previous application.

20/04212/FUL

What date was the application submitted to the planning authority? \*

02/10/2020

What date was the decision issued by the planning authority? \*

01/12/2020

## Review Procedure

The Local Review Body will decide on the procedure to be used to determine your review and may at any time during the review process require that further information or representations be made to enable them to determine the review. Further information may be required by one or a combination of procedures, such as: written submissions; the holding of one or more hearing sessions and/or inspecting the land which is the subject of the review case.

Can this review continue to a conclusion, in your opinion, based on a review of the relevant information provided by yourself and other parties only, without any further procedures? For example, written submission, hearing session, site inspection. \*

Yes  No

Please indicate what procedure (or combination of procedures) you think is most appropriate for the handling of your review. You may select more than one option if you wish the review to be a combination of procedures.

Please select a further procedure \*

By means of inspection of the land to which the review relates

Please explain in detail in your own words why this further procedure is required and the matters set out in your statement of appeal it will deal with? (Max 500 characters)

Inspection of the site to get a scale of the area. Inspection of the surrounding properties to view the existing extensions that have already been carried out.

In the event that the Local Review Body appointed to consider your application decides to inspect the site, in your opinion:

Can the site be clearly seen from a road or public land? \*

Yes  No

Is it possible for the site to be accessed safely and without barriers to entry? \*

Yes  No

## Checklist – Application for Notice of Review

Please complete the following checklist to make sure you have provided all the necessary information in support of your appeal. Failure to submit all this information may result in your appeal being deemed invalid.

Have you provided the name and address of the applicant?. \*

Yes  No

Have you provided the date and reference number of the application which is the subject of this review? \*

Yes  No

If you are the agent, acting on behalf of the applicant, have you provided details of your name and address and indicated whether any notice or correspondence required in connection with the review should be sent to you or the applicant? \*

Yes  No  N/A

Have you provided a statement setting out your reasons for requiring a review and by what procedure (or combination of procedures) you wish the review to be conducted? \*

Yes  No

Note: You must state, in full, why you are seeking a review on your application. Your statement must set out all matters you consider require to be taken into account in determining your review. You may not have a further opportunity to add to your statement of review at a later date. It is therefore essential that you submit with your notice of review, all necessary information and evidence that you rely on and wish the Local Review Body to consider as part of your review.

Please attach a copy of all documents, material and evidence which you intend to rely on (e.g. plans and Drawings) which are now the subject of this review \*

Yes  No

Note: Where the review relates to a further application e.g. renewal of planning permission or modification, variation or removal of a planning condition or where it relates to an application for approval of matters specified in conditions, it is advisable to provide the application reference number, approved plans and decision notice (if any) from the earlier consent.

## Declare – Notice of Review

I/We the applicant/agent certify that this is an application for review on the grounds stated.

Declaration Name: Mr Stuart Robinson

Declaration Date: 17/12/2020



Business Centre G.2 Waverley Court 4 East Market Street Edinburgh EH8 8BG Email: [planning.support@edinburgh.gov.uk](mailto:planning.support@edinburgh.gov.uk)

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100312166-001

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

## Description of Proposal

Please describe accurately the work proposed: \* (Max 500 characters)

1 1/2 storey extension to the side. New dormers to 1st floor. Single storey flat roof extension to the rear. Re tile existing roof in dark grey to match extension.

Has the work already been started and/ or completed? \*

No  Yes - Started  Yes – Completed

## Applicant or Agent Details

Are you an applicant or an agent? \* (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

Applicant  Agent

## Agent Details

Please enter Agent details

Company/Organisation:

Ref. Number:

You must enter a Building Name or Number, or both: \*

First Name: \*

Stuart

Building Name:

Last Name: \*

Robinson

Building Number:

15

Telephone Number: \*

07538838404

Address 1  
(Street): \*

Greenbank Drive

Extension Number:

Address 2:

Mobile Number:

Town/City: \*

Edinburgh

Fax Number:

Country: \*

United Kingdom

Postcode: \*

EH10 5RE

Email Address: \*

stuardrobinson82@gmail.com

Is the applicant an individual or an organisation/corporate entity? \*

Individual  Organisation/Corporate entity

## Applicant Details

Please enter Applicant details

Title:

Mr

You must enter a Building Name or Number, or both: \*

Other Title:

Building Name:

First Name: \*

Michael

Building Number:

59

Last Name: \*

Duffy

Address 1  
(Street): \*

North Gyle Loan

Company/Organisation

Address 2:

Telephone Number: \*

Town/City: \*

Edinburgh

Extension Number:

Country: \*

Scotland

Mobile Number:

Postcode: \*

EH12 8LB

Fax Number:

Email Address: \*

## Site Address Details

Planning Authority:

City of Edinburgh Council

Full postal address of the site (including postcode where available):

Address 1:

59 NORTH GYLE LOAN

Address 2:

Address 3:

Address 4:

Address 5:

Town/City/Settlement:

EDINBURGH

Post Code:

EH12 8LB

Please identify/describe the location of the site or sites

Northing

673054

Easting

318348

## Pre-Application Discussion

Have you discussed your proposal with the planning authority? \*

Yes  No

## Trees

Are there any trees on or adjacent to the application site? \*

Yes  No

If yes, please mark on your drawings any trees, known protected trees and their canopy spread close to the proposal site and indicate if any are to be cut back or felled.

## Access and Parking

Are you proposing a new or altered vehicle access to or from a public road? \*

Yes  No

If yes, please describe and show on your drawings the position of any existing, altered or new access points, highlighting the changes you proposed to make. You should also show existing footpaths and note if there will be any impact on these.

## Planning Service Employee/Elected Member Interest

Is the applicant, or the applicant's spouse/partner, either a member of staff within the planning service or an elected member of the planning authority? \*

Yes  No

## Certificates and Notices

CERTIFICATE AND NOTICE UNDER REGULATION 15 – TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (SCOTLAND) REGULATION 2013

One Certificate must be completed and submitted along with the application form. This is most usually Certificate A, Form 1, Certificate B, Certificate C or Certificate E.

Are you/the applicant the sole owner of ALL the land? \*

Yes  No

Is any of the land part of an agricultural holding? \*

Yes  No

## Certificate Required

The following Land Ownership Certificate is required to complete this section of the proposal:

Certificate A

## Land Ownership Certificate

Certificate and Notice under Regulation 15 of the Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

Certificate A

I hereby certify that –

(1) - No person other than myself/the applicant was an owner (Any person who, in respect of any part of the land, is the owner or is the lessee under a lease thereof of which not less than 7 years remain unexpired.) of any part of the land to which the application relates at the beginning of the period of 21 days ending with the date of the accompanying application.

(2) - None of the land to which the application relates constitutes or forms part of an agricultural holding

Signed: Stuart Robinson

On behalf of: Mr Michael Duffy

Date: 01/10/2020

Please tick here to certify this Certificate. \*

## Checklist – Application for Householder Application

Please take a few moments to complete the following checklist in order to ensure that you have provided all the necessary information in support of your application. Failure to submit sufficient information with your application may result in your application being deemed invalid. The planning authority will not start processing your application until it is valid.

- a) Have you provided a written description of the development to which it relates? \*  Yes  No
- b) Have you provided the postal address of the land to which the development relates, or if the land in question has no postal address, a description of the location of the land? \*  Yes  No
- c) Have you provided the name and address of the applicant and, where an agent is acting on behalf of the applicant, the name and address of that agent? \*  Yes  No
- d) Have you provided a location plan sufficient to identify the land to which it relates showing the situation of the land in relation to the locality and in particular in relation to neighbouring land? \*. This should have a north point and be drawn to an identified scale.  Yes  No
- e) Have you provided a certificate of ownership? \*  Yes  No
- f) Have you provided the fee payable under the Fees Regulations? \*  Yes  No
- g) Have you provided any other plans as necessary? \*  Yes  No

Continued on the next page

A copy of the other plans and drawings or information necessary to describe the proposals (two must be selected). \*

You can attach these electronic documents later in the process.

- Existing and Proposed elevations.
- Existing and proposed floor plans.
- Cross sections.
- Site layout plan/Block plans (including access).
- Roof plan.
- Photographs and/or photomontages.

Additional Surveys – for example a tree survey or habitat survey may be needed. In some instances you may need to submit a survey about the structural condition of the existing house or outbuilding.  Yes  No

A Supporting Statement – you may wish to provide additional background information or justification for your Proposal. This can be helpful and you should provide this in a single statement. This can be combined with a Design Statement if required. \*  Yes  No

You must submit a fee with your application. Your application will not be able to be validated until the appropriate fee has been Received by the planning authority.

## Declare – For Householder Application

I, the applicant/agent certify that this is an application for planning permission as described in this form and the accompanying Plans/drawings and additional information.

Declaration Name: Mr Stuart Robinson

Declaration Date: 01/10/2020

**Payment Details**



Created: 02/10/2020 07:40

Stuart Robinson.  
15 Greenbank Drive  
Edinburgh  
EH10 5RE

Mr Michael Duffy.  
59 North Gyle Loan  
Edinburgh  
Scotland  
EH12 8LB

**Decision date: 1 December 2020**

TOWN AND COUNTRY PLANNING (SCOTLAND) ACTS  
**DEVELOPMENT MANAGEMENT PROCEDURE (SCOTLAND) REGULATIONS 2013**

1 1/2 storey extension to the side. New dormers to 1st floor. Single storey flat roof extension to the rear. Re tile existing roof in dark grey to match extension.  
At 59 North Gyle Loan Edinburgh EH12 8LB

**Application No:** 20/04212/FUL

**DECISION NOTICE**

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**Reasons:-**

1. The proposal in scale, form and position is a dominant addition that overwhelms the existing property harmful to its character and appearance. The proposed scale is discordant in the context of the street and harmful to the existing neighbourhood character. The proposal is contrary to LDP policy Des 12 (Alterations and Extensions) and the non-statutory guidance.

Please see the guidance notes on our [decision page](#) for further information, including how to appeal or review your decision.

Drawings 01, 02, 03, 04, 05, 06, represent the determined scheme. Full details of the application can be found on the [Planning and Building Standards Online Services](#)

The reason why the Council made this decision is as follows:

This determination does not carry with it any necessary consent or approval for the proposed development under other statutory enactments.

Should you have a specific enquiry regarding this decision please contact Lewis McWilliam directly at [lewis.mcwilliam@edinburgh.gov.uk](mailto:lewis.mcwilliam@edinburgh.gov.uk).

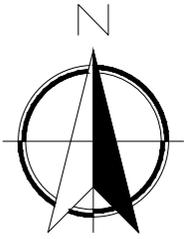
*D R Leech*

**Chief Planning Officer**  
**PLACE**  
**The City of Edinburgh Council**

## NOTES

1. If the applicant is aggrieved by the decision to refuse permission for or approval required by a condition in respect of the proposed development, or to grant permission or approval subject to conditions, the applicant may require the planning authority to review the case under section 43A of the Town and Country Planning (Scotland) Act 1997 within three months beginning with the date of this notice. The Notice of Review can be made online at [www.eplanning.scot](http://www.eplanning.scot) or forms can be downloaded from that website. Paper forms should be addressed to the City of Edinburgh Planning Local Review Body, G.2, Waverley Court, 4 East Market Street, Edinburgh, EH8 8BG. For enquiries about the Local Review Body, please email [localreviewbody@edinburgh.gov.uk](mailto:localreviewbody@edinburgh.gov.uk).

2. If permission to develop land is refused or granted subject to conditions and the owner of the land claims that the land has become incapable of reasonably beneficial use in its existing state and cannot be rendered capable of reasonably beneficial use by carrying out of any development which has been or would be permitted, the owner of the land may serve on the planning authority a purchase notice requiring the purchase of the owner of the land's interest in the land accordance with Part 5 of the Town and Country Planning (Scotland) Act 1997.



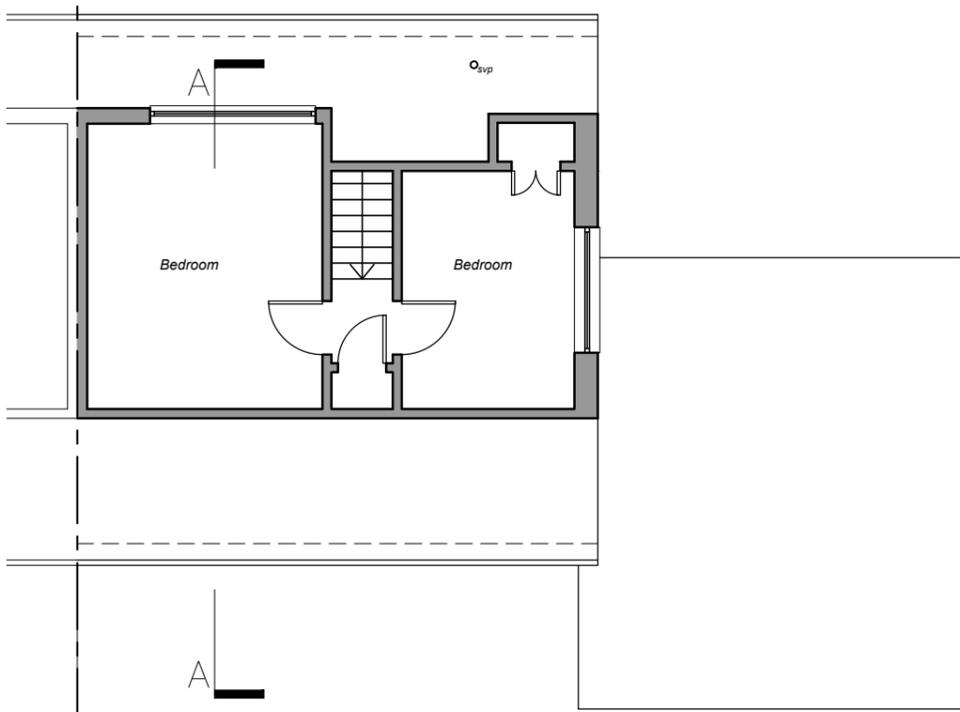
Location Plan 1:1250

footprint of new extension shown dotted

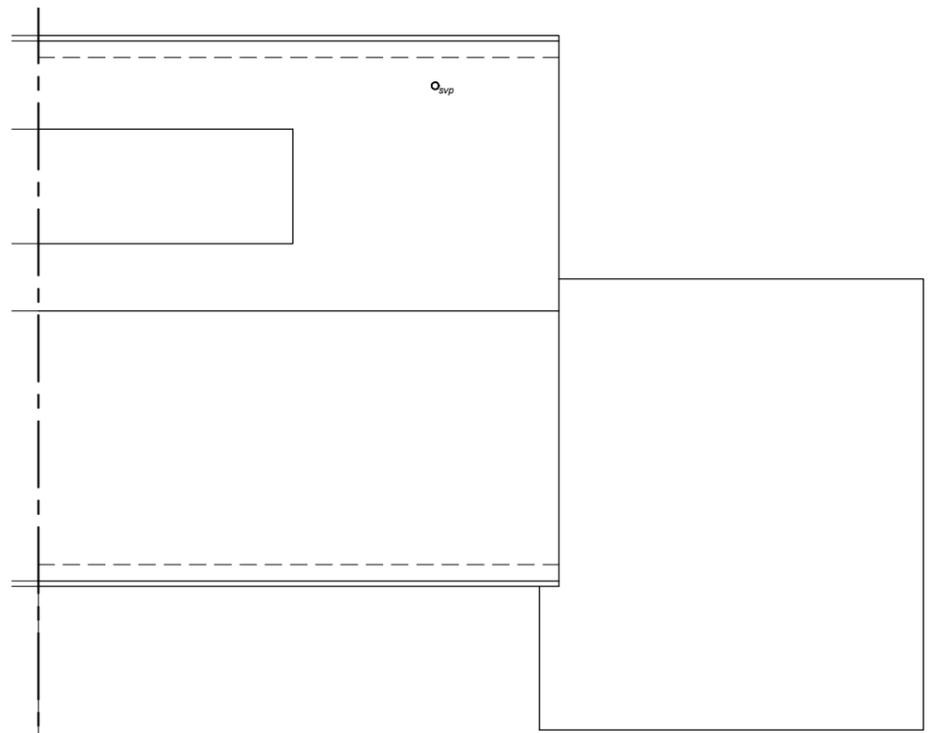


Site Plan 1:500

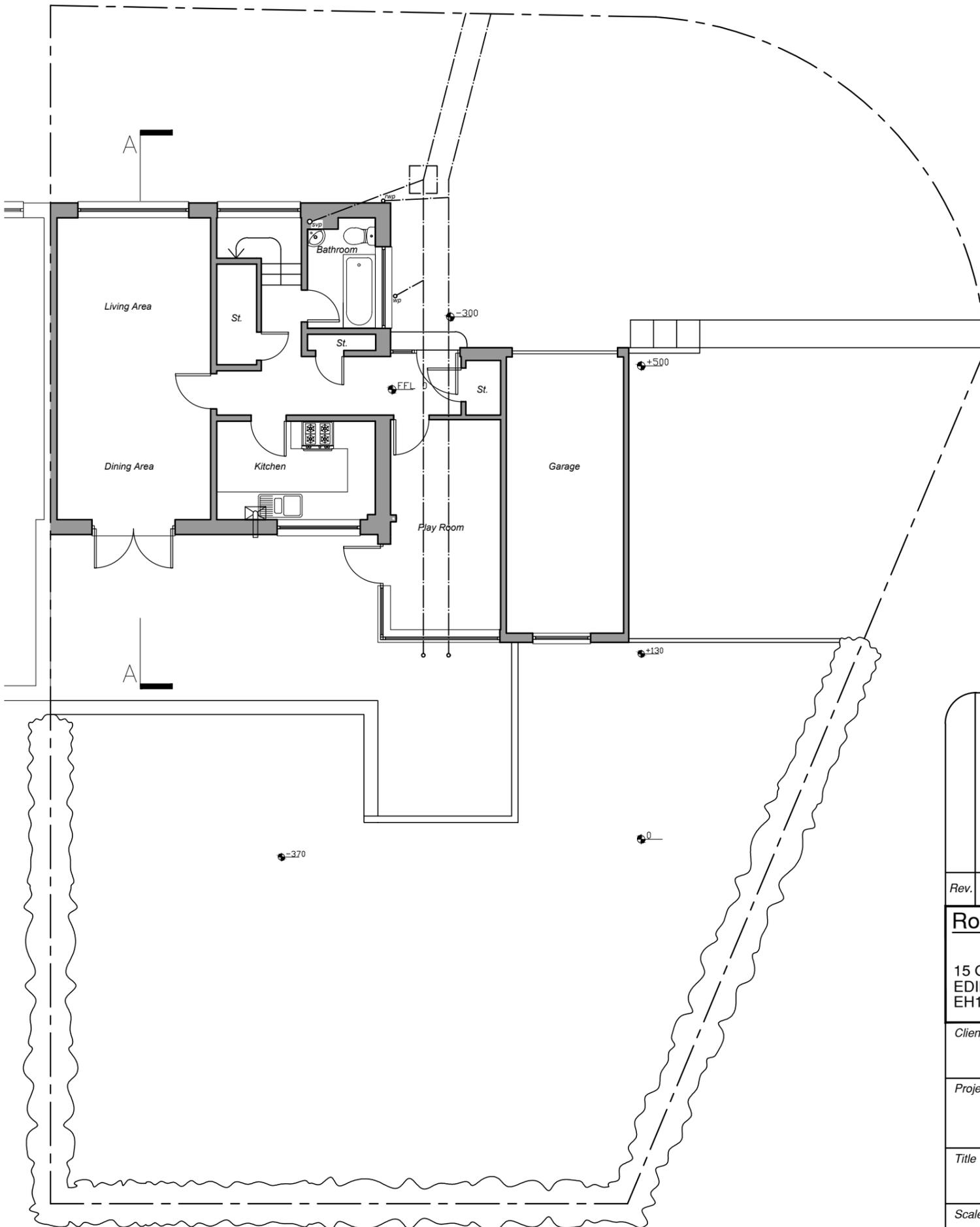
Planning	Oct20	Client Michael Duffy	Project Extension and Alterations to 59 North Gyle Loan, Edinburgh		
		Robinson Architectural Services	Title Location and Site Plan		
		15 GREENBANK DRIVE EDINBURGH EH10 5RE	Scale 1:1250/500@A4	Date OCT20	Drawn SR
			Drwg No 2040-LP	Revision	



EXISTING FIRST FLOOR PLAN 1:100



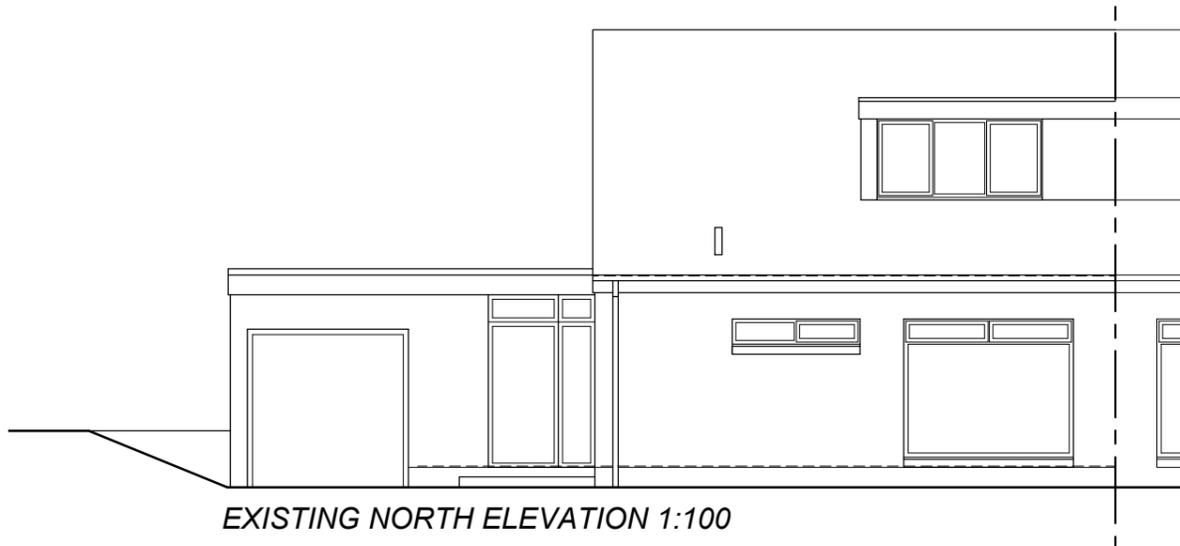
EXISTING ROOF PLAN 1:100



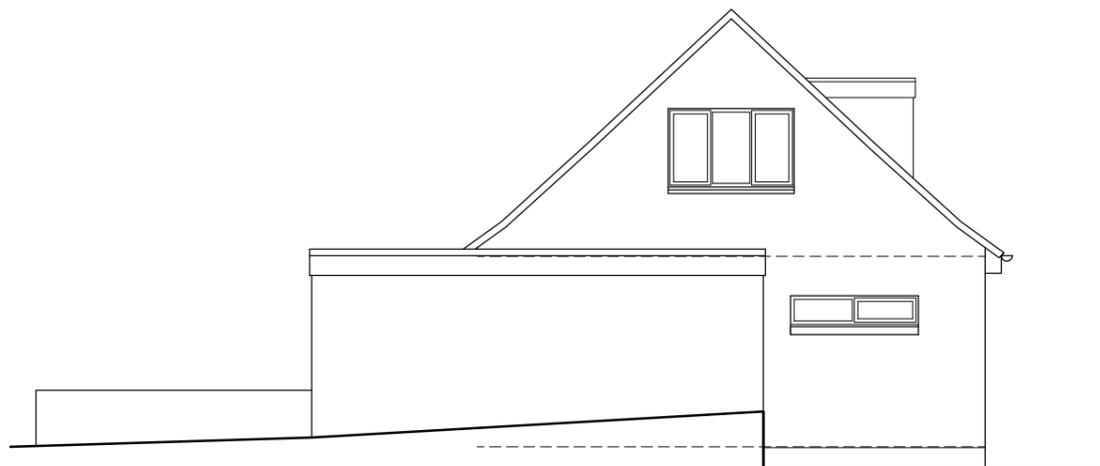
EXISTING GROUND FLOOR PLAN 1:100



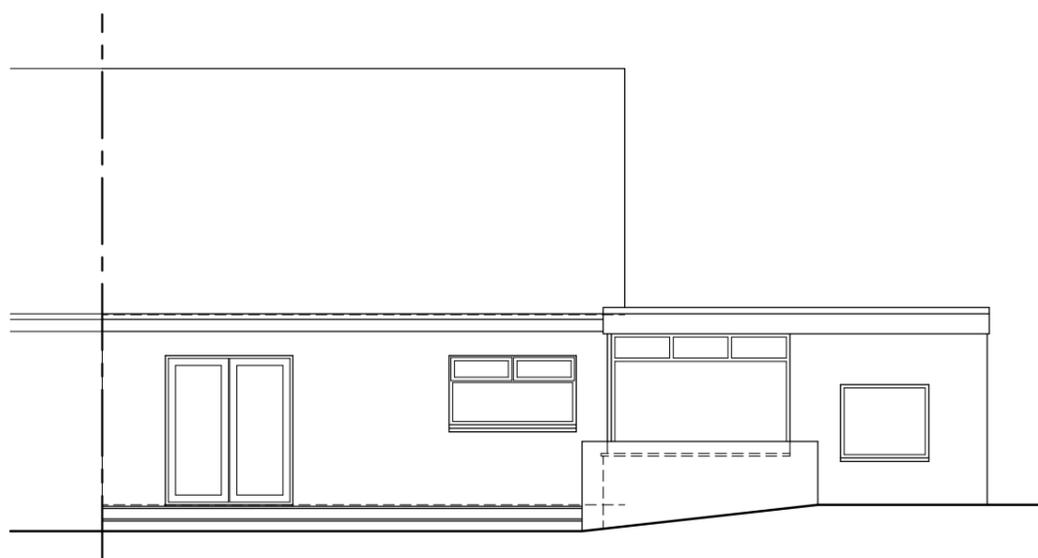
Planning		Oct20
Rev.	Revision	Date
<b>Robinson Architectural Services</b> 15 GREENBANK DRIVE EDINBURGH EH10 5RE		
Client		Michael Duffy
Project		Extension and Alterations to 59 North Gyle Loan, Edinburgh
Title		Existing Floor Plans
Scale 1:100@A3	Date Sept 20	Drawn SR
Drwg No	2040-(PL)01	Revision



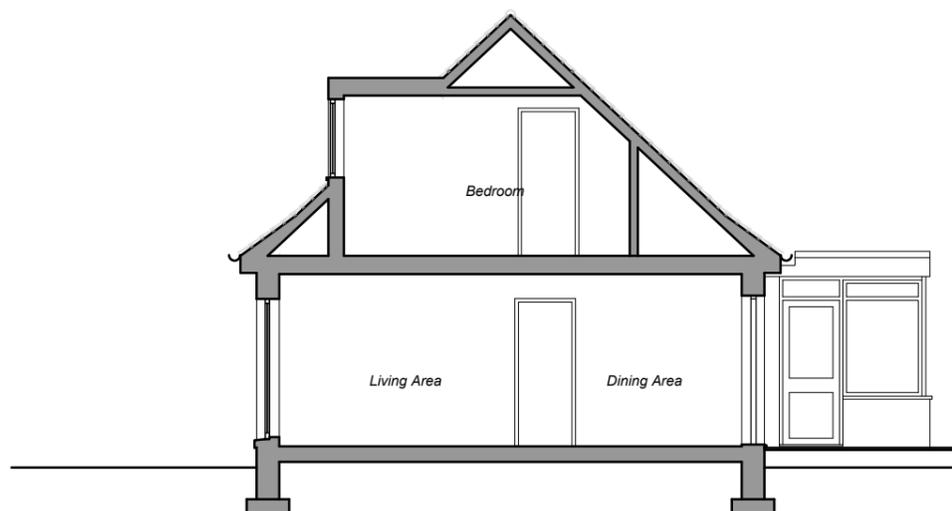
EXISTING NORTH ELEVATION 1:100



EXISTING EAST ELEVATION 1:100



EXISTING SOUTH ELEVATION 1:100

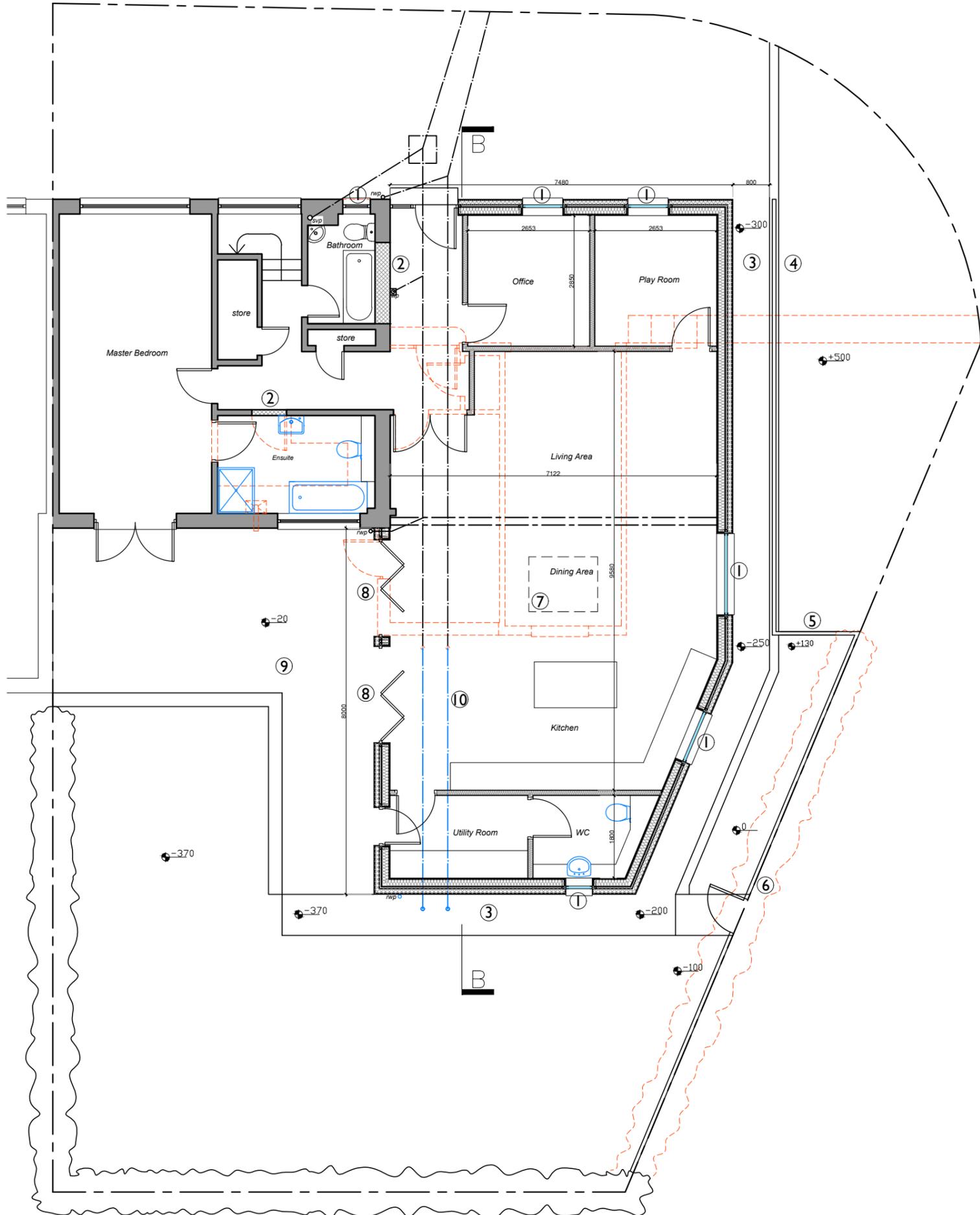


EXISTING SECTION A-A 1:100

Planning	Oct20	Client Michael Duffy	Project Extension and Alterations to 59 North Gyle Loan, Edinburgh			
		Robinson Architectural Services	Title Existing Elevations and Sections			
		15 GREENBANK DRIVE EDINBURGH EH10 5RE	Scale 1:100@A3	Date Sept 20	Drawn SR	
			Drwg No 2040-(PL)02		Revision	

**LEGEND - red lines indicates removals**

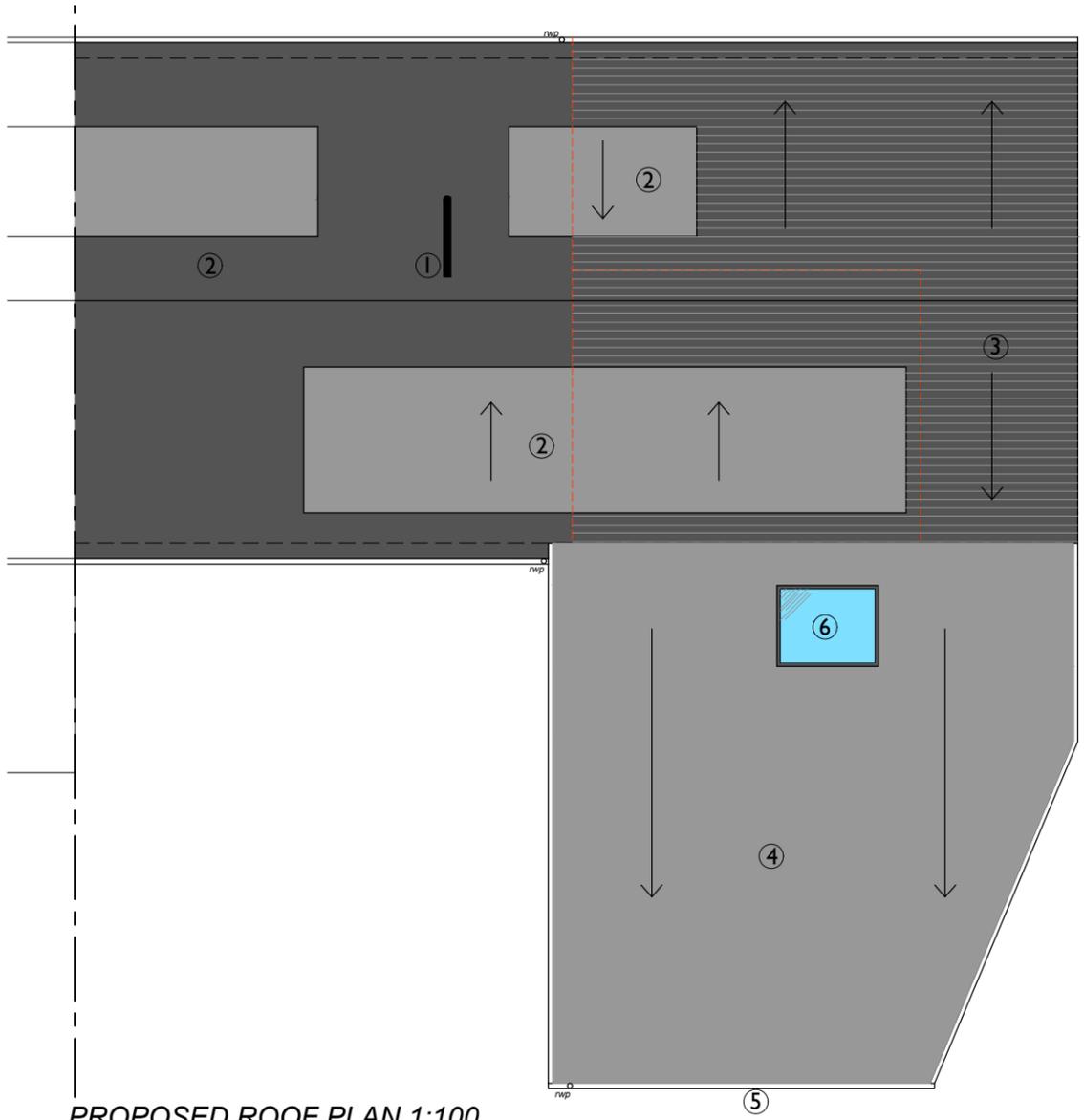
- 1 - New window. uPVC in style to match existing
- 2 - Existing window/ door opening blocked up
- 3 - New path around property to keep adjacent ground level below internal floor level
- 4 - Retaining wall with fence/ protective barrier as height difference greater than 600mm
- 5 - New 1.8m fence
- 6 - New 1.8m boundary fence with gate for rear garden access
- 7 - 1.5m x 1.5m Flat roof roof window
- 8 - New bifold doors
- 9 - Timber deck
- 10 - Existing drainage lines extended. Rodding eyes at terminal



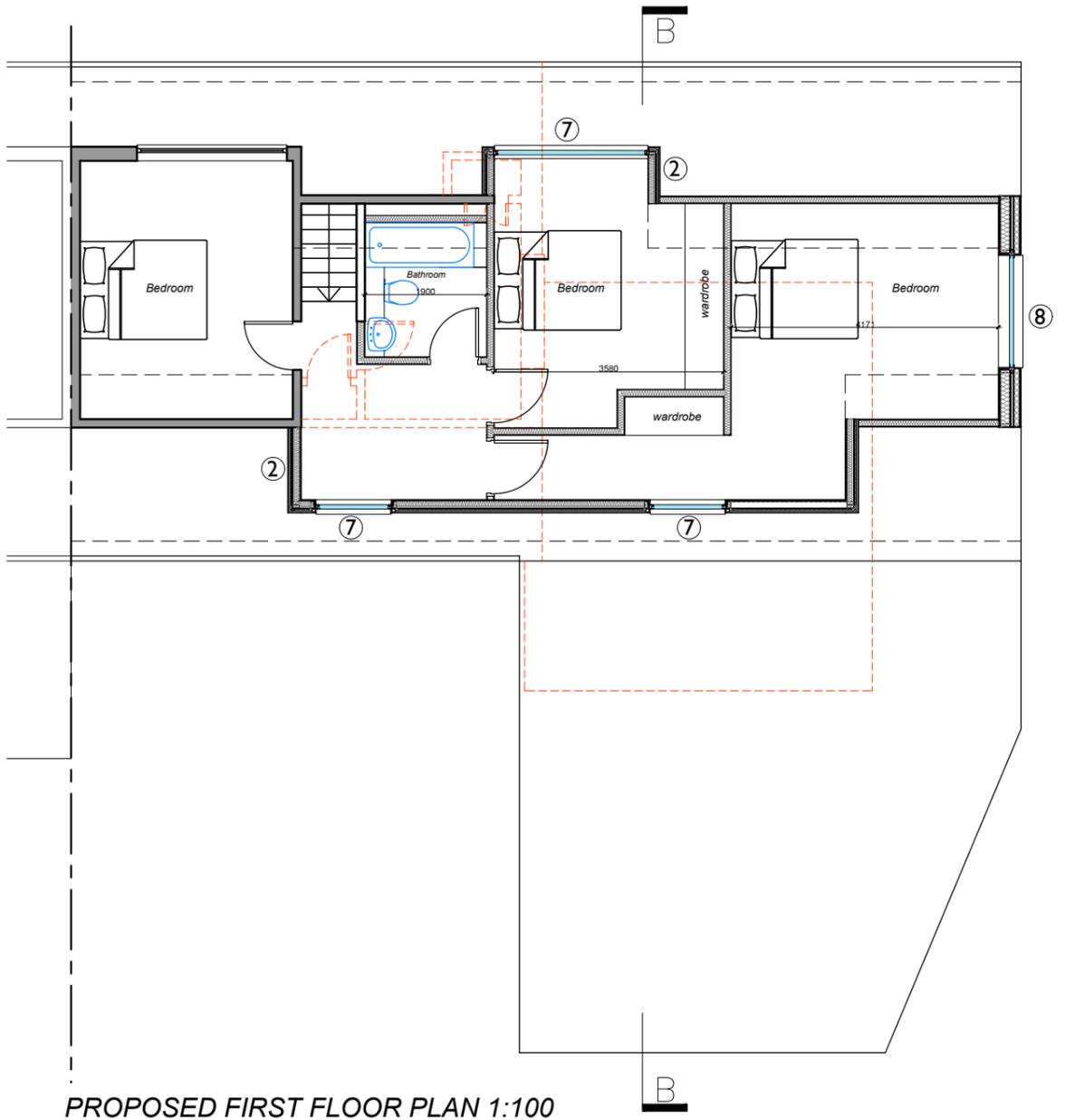
**PROPOSED GROUND FLOOR PLAN 1:100**

Planning	Oct20	<p><i>Client</i> Michael Duffy</p>	<p><i>Project</i> Extension and Alterations to 59 North Gyle Loan, Edinburgh</p>			
		<p><b>Robinson Architectural Services</b></p>	<p><i>Title</i> Proposed Ground Floor Plan</p>			
		<p>15 GREENBANK DRIVE EDINBURGH EH10 5RE</p>	<p><i>Scale</i> 1:100@A3</p>	<p><i>Date</i> Sept 20</p>	<p><i>Drawn</i> SR</p>	
			<p><i>Drwg No</i> 2040-(PL)03</p>		<p><i>Revision</i></p>	

- LEGEND - red lines indicates removals**
- 1 - New terminal point for SVP. Re-routed to connect to new 1st floor bathroom fittings
  - 2 - New flat roof dormer. Hung tiles to match new roof (dary grey)
  - 3 - Existing roof extended. Pitch to match existing. Dark grey tiles.
  - 4 - Single ply flat roof over extension. 1:60 gradient
  - 5 - New gutter with rainwater pipe
  - 6 - 1.5m x 1.5m Flat roof roof window
  - 7 - Dormer window
  - 8 - New gable end window. To match existing being removed
  - 9 - Re tile existing roof in dark grey to match extension



PROPOSED ROOF PLAN 1:100

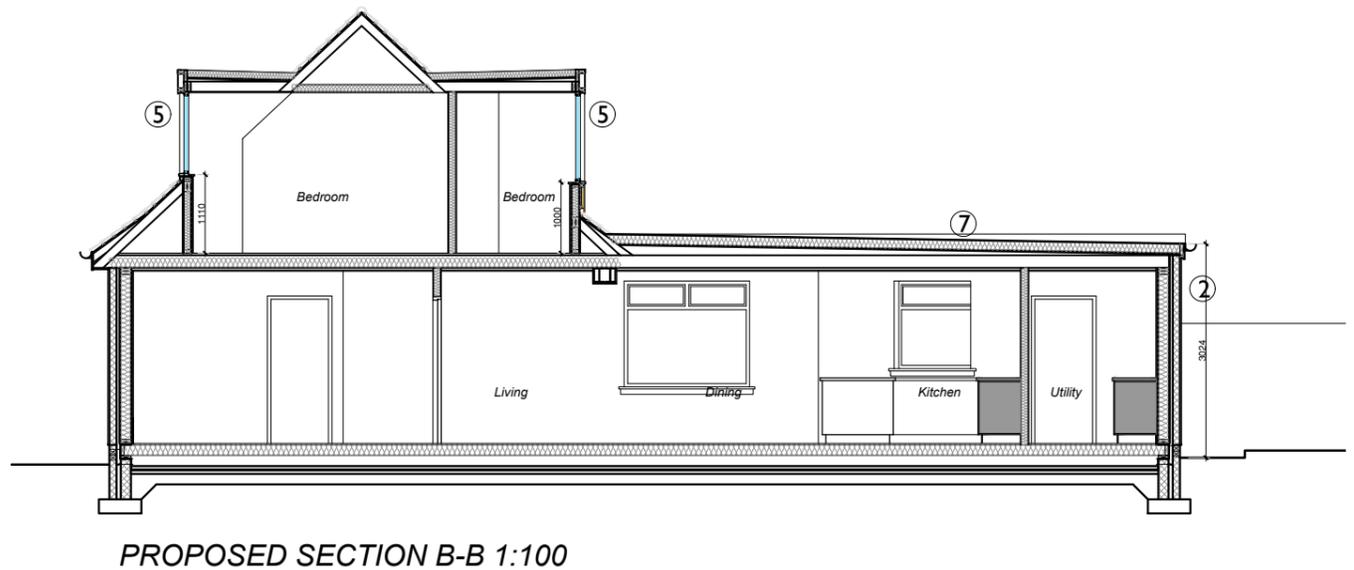
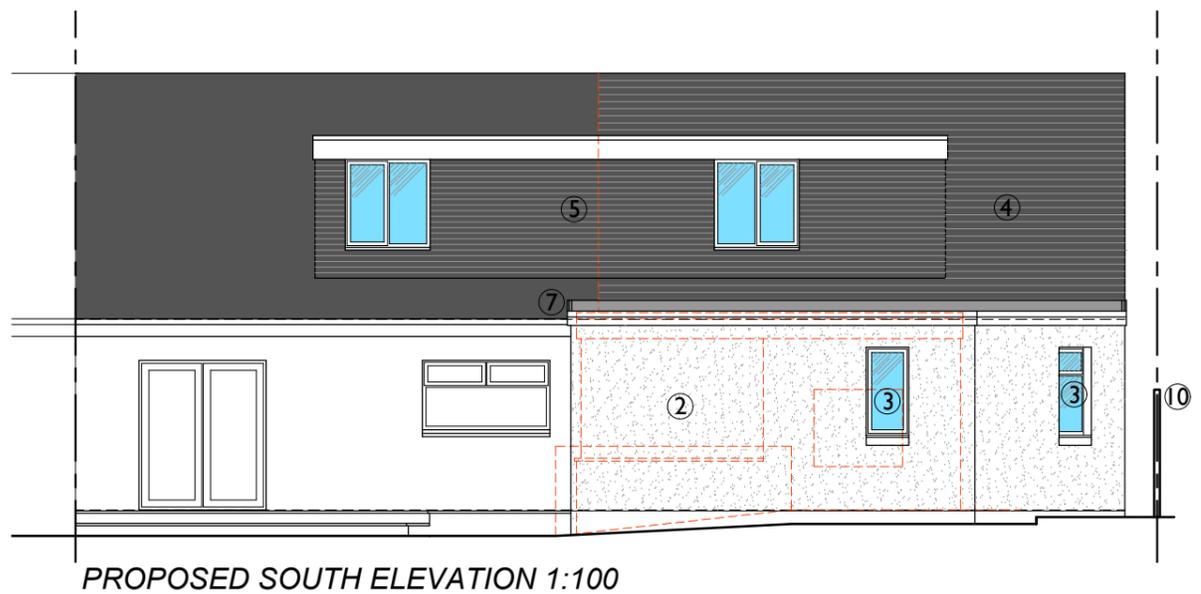
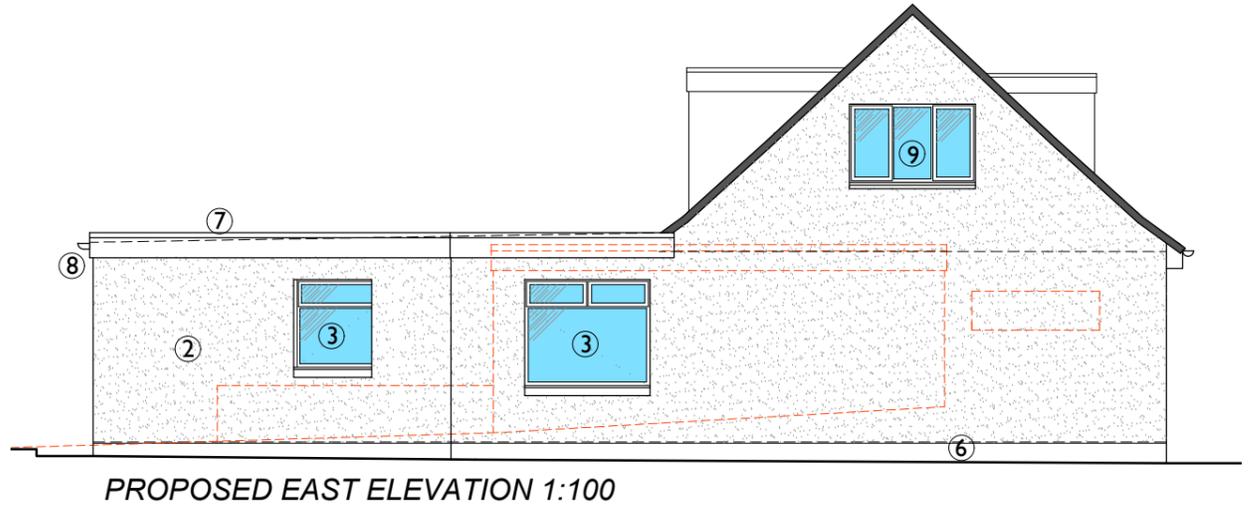
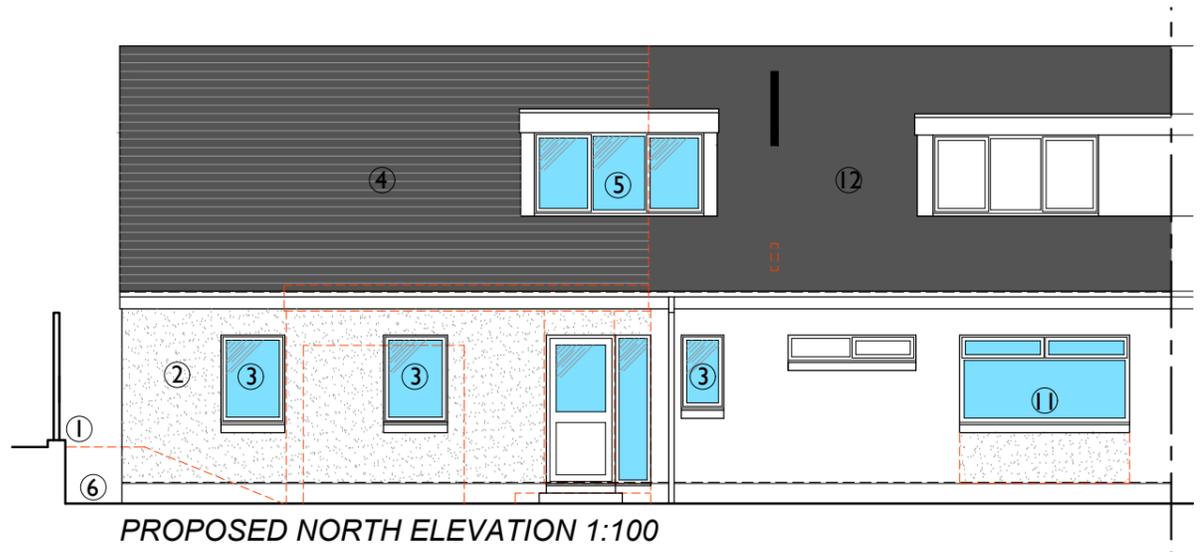


PROPOSED FIRST FLOOR PLAN 1:100

Planning	Oct20	Client Michael Duffy	Project Extension and Alterations to 59 North Gyle Loan, Edinburgh			
		<b>Robinson Architectural Services</b>		Title Proposed Roof and First Floor Plan		
		15 GREENBANK DRIVE EDINBURGH EH10 5RE		Scale 1:100@A3	Date Sept 20	Drawn SR
				Drwg No 2040-(PL)04		Revision

**LEGEND - red lines indicates removals**

- 1 - Retaining wall with protective barrier/ fence
- 2 - Timber frame extension. White render to match existing
- 3 - New uPVC windows. White
- 4 - Existing roof extended. Pitch to match existing. Dark grey tiles
- 5 - Flat roof dormer. Hung tiles to match new roof tiles.
- 6 - 800mm path around building so adjacent ground level is below finished floor level.
- 7 - Single ply flat roof to extension
- 8 - New gutter to drain flat roof
- 9 - New gable end window to match existing being removed
- 10 - New 1.8m boundary fence with gate for rear access
- 11 - Cill height raised. Block up opening with finish to match.
- 12 - Re tile existing roof. Dark grey to match extension



Planning	Oct20	<i>Client</i> Michael Duffy	<i>Project</i> Extension and Alterations to 59 North Gyle Loan, Edinburgh				
		Robinson Architectural Services			<i>Title</i> Proposed Elevations and Sections		
		15 GREENBANK DRIVE EDINBURGH EH10 5RE			<i>Scale</i> 1:100@A3	<i>Date</i> Sept 20	<i>Drawn</i> SR
					<i>Drwg No</i> 2040-(PL)05	<i>Revision</i>	

## Proposal Details

Proposal Name	100312166
Proposal Description	1 1/2 storey extension to the side. New dormers to 1st floor. Single storey flat roof extension to the rear. Re tile existing roof in dark grey to match extension.
Address	59 NORTH GYLE LOAN, EDINBURGH, EH12 8LB
Local Authority	City of Edinburgh Council
Application Online Reference	100312166-004

## Application Status

Form	complete
Main Details	complete
Checklist	complete
Declaration	complete
Supporting Documentation	complete
Email Notification	complete

## Attachment Details

Notice of Review	System	A4
2040-PL01	Attached	A3
2040-PL02	Attached	A3
2040-PL03	Attached	A3
2040-PL04	Attached	A3
2040-PL05	Attached	A3
2040-LP	Attached	A4
2040 - Application	Attached	A4
2040 - Rejection	Attached	A4
Notice_of_Review-2.pdf	Attached	A0
Application_Summary.pdf	Attached	A0
Notice of Review-004.xml	Attached	A0