

Studio Dub.  
Fao Gordon Duffy.  
17a/2 West Crosscauseway  
Edinburgh  
EH8 9JW

Ms Rebecca Wober.  
3F3 2 Barony Street  
Edinburgh  
EH3 6PE

**Decision date: 20 August 2021**

TOWN AND COUNTRY PLANNING (SCOTLAND) ACTS  
**DEVELOPMENT MANAGEMENT PROCEDURE (SCOTLAND) REGULATIONS 2013**

Attic conversion and new dormer window to the rear and new velux roof light.  
At 3F3 2 Barony Street Edinburgh EH3 6PE

**Application No:** 20/05120/FUL

**DECISION NOTICE**

With reference to your application for Planning Permission registered on 20 November 2020, this has been decided by **Local Delegated Decision**. The Council in exercise of its powers under the Town and Country Planning (Scotland) Acts and regulations, now determines the application as **Refused** in accordance with the particulars given in the application.

Any condition(s) attached to this consent, with reasons for imposing them, or reasons for refusal, are shown below;

**Conditions:-**

1. The alterations fail to preserve the character and appearance of both the conservation area and listed building, contrary to policies Env4 and Env6.

Please see the guidance notes on our [decision page](#) for further information, including how to appeal or review your decision.

Drawings 1-3, 4A, represent the determined scheme. Full details of the application can be found on the [Planning and Building Standards Online Services](#)

The reason why the Council made this decision is as follows:

The alterations fail to preserve the character and appearance of both the conservation area and listed building, contrary to policies Env4 and Env6.

This determination does not carry with it any necessary consent or approval for the proposed development under other statutory enactments.

Should you have a specific enquiry regarding this decision please contact Diana Garrett directly at [diana.garrett@edinburgh.gov.uk](mailto:diana.garrett@edinburgh.gov.uk).

A handwritten signature in dark ink, appearing to read 'D. Garrett', with a long horizontal flourish extending to the right.

**Chief Planning Officer**  
**PLACE**  
**The City of Edinburgh Council**

## NOTES

1. If the applicant is aggrieved by the decision to refuse permission for or approval required by a condition in respect of the proposed development, or to grant permission or approval subject to conditions, the applicant may require the planning authority to review the case under section 43A of the Town and Country Planning (Scotland) Act 1997 within three months beginning with the date of this notice. The Notice of Review can be made online at [www.eplanning.scot](http://www.eplanning.scot) or forms can be downloaded from that website. Paper forms should be addressed to the City of Edinburgh Planning Local Review Body, G.2, Waverley Court, 4 East Market Street, Edinburgh, EH8 8BG. For enquiries about the Local Review Body, please email [localreviewbody@edinburgh.gov.uk](mailto:localreviewbody@edinburgh.gov.uk).

2. If permission to develop land is refused or granted subject to conditions and the owner of the land claims that the land has become incapable of reasonably beneficial use in its existing state and cannot be rendered capable of reasonably beneficial use by carrying out of any development which has been or would be permitted, the owner of the land may serve on the planning authority a purchase notice requiring the purchase of the owner of the land's interest in the land accordance with Part 5 of the Town and Country Planning (Scotland) Act 1997.

# Report of Handling

**Application for Planning Permission**  
**3F3 2 Barony Street, Edinburgh, EH3 6PE**

**Proposal: Attic conversion and new dormer window to the rear and new velux roof light.**

**Item – Local Delegated Decision**  
**Application Number – 20/05120/FUL**  
**Ward – B11 - City Centre**

## **Recommendation**

It is recommended that this application be **Refused** subject to the details below.

## **Summary**

The alterations fail to preserve the character and appearance of both the conservation area and listed building, contrary to policies Env4 and Env6.

## **SECTION A – Application Background**

### **Site Description**

Top floor flat within 4-storey and basement terraced tenement on corner site (1 of mirrored pair), with 5-storey, 3-bay circular corner tower breaking eaves; tower flanked by 2-bay splayed sections, flanked in turn by 3-bay straight sections, Thomas Bonnar, 1829-34.

Category A listed, listed 12.12.1974, LB Ref 30071.

The site is located in the New Town Conservation Area.

### **Description Of The Proposal**

It is proposed to form a dormer and velux window on the rear elevation of the roof.

### **Relevant Site History**

20/05119/LBC

Attic conversion with new spiral stair and opening from hall to rear bedroom; Form new dormer window to the rear and velux roof light; Form new opening to connect two front rooms with sliding-folding doors.

## **Consultation Engagement**

Historic Environment Scotland

## **Publicity and Public Engagement**

**Date of Neighbour Notification:** 30 November 2020

**Date of Advertisement:** 4 December 2020

**Date of Site Notice:** 4 December 2020

**Number of Contributors:** 1

## **Section B - Assessment**

### **Determining Issues**

Section 25 of the Town and Country Planning (Scotland) Act 1997 states - Where, in making any determination under the Planning Acts, regard is to be had to the development plan, the determination shall be made in accordance with the plan unless material considerations indicate otherwise.

Section 59 of the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997 states that in considering whether to grant planning permission for development which affects a listed building or its setting, a planning authority shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.

Section 64 of the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997 states - special attention shall be paid to the desirability of preserving or enhancing the character or appearance of the conservation area.

Do the proposals comply with the development plan?

If the proposals do comply with the development plan, are there any compelling reasons for not approving them?

If the proposals do not comply with the development plan, are there any compelling reasons for approving them?

### **Assessment**

To address these determining issues, it needs to be considered whether:

a) the proposals will adversely affect the character and appearance of the conservation area;

- b) the proposals will have an adverse impact on the character of the listed building;
- c) the proposal will result in an unreasonable loss of neighbouring amenity;
- d) any impacts on equalities and human rights are acceptable; and
- e) any comments received are addressed.

a) Character and appearance of conservation area

The New Town Conservation Area Character Appraisal states that *the area is typified by the formal plan layout, spacious stone built terraces, broad streets and an overall classical elegance. The buildings are of a generally consistent three storey and basement scale, with some four storey corner and central pavilions*

Although the dormer would not be excessive in terms of scale and siting, its location, within the context of part of the conservation area where the rear roofscapes have largely been unaffected by significant alterations, would have an adverse impact on the character of the conservation area. It would introduce a feature that has been restricted to the front of buildings and would erode an important part of the character of the immediate area.

Historic Environment Scotland has concerns with regard to the proposed development and has commented on both the applications for listed building and planning permission.

Furthermore, the New Town Conservation Area character appraisal stresses the importance of protecting the fifth dimension of the World Heritage Site and the proposed structure would set an undesirable precedent for similar dormer windows which do not respect the traditional roof forms. The cumulative effects of similar developments is also considered.

The proposal would therefore be contrary to Policy Env 6, Env 1, and Des 12 of the Edinburgh Local Development Plan and non-statutory guidance for listed buildings and conservation areas.

b) Impact on the Listed Building

HES's guidance on *Managing Change - Roofs* set out the principles that apply and how they should inform planning policies. The Council's non-statutory guidance on Listed Buildings and Conservation Areas provides further advice in respect of works to listed buildings and conservation areas.

The rear roofscape of the building and its neighbours, which form a relatively enclosed central space created by the buildings in Barony Street, Broughton Street and London Street, is largely unaltered and benefits from its original character and appearance. The introduction of a dormer, albeit on a relatively inconspicuous location, being close to the junction between Barony Street and Broughton Street, would create an intrusive addition to a part of the building that has avoided significant alterations to its original form. It would have a considerable and detrimental impact on an important architectural element within the overall composition of the building and would fail to respect its

historical and architectural quality. The formation of the rooflight, in isolation, would be acceptable.

The proposals fail to comply with the non-statutory guidance in relation to listed buildings and fail to preserve the character and setting of the listed building.

c) Residential Amenity

The rear gardens of this corner site are already heavily overlooked by neighbouring windows. The proposal would not result in any worsening of this existing situation.

d) Equalities and human rights

This application was assessed in terms of equalities and human rights. No impacts were identified

e) Public Comments

One representation was received, objecting to the impact of the dormer on the roofscape of the building and the slapping on the plan form of the building, both to the detriment of its character.

The proposed alterations to the interior are assessed in the concurrent application for listed building consent.

## **Section C - Conditions/Reasons/Informatives**

The recommendation is subject to the following;

1. The alterations fail to preserve the character and appearance of both the conservation area and listed building, contrary to policies Env4 and Env6.

### **Background Reading/External References**

To view details of the application go to the [Planning Portal](#)

**Further Information -** [Local Development Plan](#)

**Date Registered: 20 November 2020**

### **Drawing Numbers/Scheme**

1-3, 4A

Scheme 1

**David Givan**  
**Chief Planning Officer**  
**PLACE**  
**The City of Edinburgh Council**

Contact: Diana Garrett, Planning officer  
E-mail: [diana.garrett@edinburgh.gov.uk](mailto:diana.garrett@edinburgh.gov.uk)



## **Consultations**

NAME: Historic Environment Scotland

COMMENT: This application proposes a new dormer window to the rear of 2 Barony Street, part of an A-listed corner tenement by Thomas Bonnar of 1829-34.

The addition of a dormer window would have an impact on the appearance and significance of the listed building. A key external feature of this building is the shallow pitched roofs to both the front and rear. The addition of a dormer window would give the roofscape more prominence than it was intended to have. While we accept that the visibility of any dormer would be limited (and the impact would not therefore be significant), it would still appear as an incongruous addition and for this reason we would caution against the addition of dormer windows on this listed building.



HISTORIC  
ENVIRONMENT  
SCOTLAND

ÀRAINNEACHD  
EACHDRAIDHEIL  
ALBA

**By email to:**  
**diana.garrett@edinburgh.gov.uk**

City of Edinburgh Council  
Planning and Strategy  
4 Waverley Court  
East Market Street  
Edinburgh  
EH8 8BG

Longmore House  
Salisbury Place  
Edinburgh  
EH9 1SH

Enquiry Line: 0131-668-8716  
[HMConsultations@hes.scot](mailto:HMConsultations@hes.scot)

Our case ID: 300047751  
Your ref: 20/05120/FUL  
14 December 2020

Dear City of Edinburgh Council

Town and Country Planning (Development Management Procedure) (Scotland)  
Regulations 2013  
3F3 2 Barony Street Edinburgh EH3 6PE - Attic conversion and new dormer window to  
the rear and new velux roof light

Thank you for your consultation which we received on 01 December 2020. We have  
assessed it for our historic environment interests and consider that the proposals affect  
the following:

Ref	Name	Designation Type
LB30071	42-48A (EVEN NOS) BROUGHTON STREET, AND 2, 4 BARONY STREET, INCLUDING RAILINGS	Listed Building

You should also seek advice from your archaeology and conservation service for matters  
including unscheduled archaeology and category B and C-listed buildings.

### **Our Advice**

This application proposes a new dormer window to the rear of 2 Barony Street, part of an  
A-listed corner tenement by Thomas Bonnar of 1829-34.

The addition of a dormer window would have an impact on the appearance and  
significance of the listed building. A key external feature of this building is the shallow  
pitched roofs to both the front and rear. The addition of a dormer window would give the  
roofscape more prominence than it was intended to have. While we accept that the



visibility of any dormer would be limited (and the impact would not therefore be significant), it would still appear as an incongruous addition and for this reason we would caution against the addition of dormer windows on this listed building.

Planning authorities are expected to treat our comments as a material consideration, and this advice should be taken into account in your decision making. Our view is that the proposals do not raise historic environment issues of national significance and therefore we do not object. However, our decision not to object should not be taken as our support for the proposals. This application should be determined in accordance with national and local policy on development affecting the historic environment, together with related policy guidance.

### **Further Information**

This response applies to the application currently proposed. An amended scheme may require another consultation with us.

Guidance about national policy can be found in our 'Managing Change in the Historic Environment' series available online at [www.historicenvironment.scot/advice-and-support/planning-and-guidance/legislation-and-guidance/managing-change-in-the-historic-environment-guidance-notes/](http://www.historicenvironment.scot/advice-and-support/planning-and-guidance/legislation-and-guidance/managing-change-in-the-historic-environment-guidance-notes/). Technical advice is available through our Technical Conservation website at [www.engineshed.org](http://www.engineshed.org).

Please contact us if you have any questions about this response. The officer managing this case is Ian Thomson who can be contacted by phone on 0131 668 8076 or by email on [ian.thomson@hes.scot](mailto:ian.thomson@hes.scot).

Yours faithfully

**Historic Environment Scotland**

# Comments for Planning Application 20/05120/FUL

## Application Summary

Application Number: 20/05120/FUL

Address: 3F3 2 Barony Street Edinburgh EH3 6PE

Proposal: Attic conversion and new dormer window to the rear and new velux roof light.

Case Officer: Diana Garrett

## Customer Details

Name: Dr The Architectural Heritage Society of Scotland

Address: 15 Rutland Square, Edinburgh EH1 2BE

## Comment Details

Commenter Type: Amenity Body

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: The AHSS Forth & Borders Cases Panel has examined the proposals for alterations to this listed building and we object to two aspects of the application as follows:

- 1) The proposed addition of a dormer window to the rear elevation would materially alter the character of this category A listed building. Designed by Thomas Bonnar in 1829-34, this corner tenement site forms part of the Edinburgh New Town A Group, one of the most important and best-preserved examples of urban planning in Britain. The proposed dormer window would be visible from Barony Place, from which point it would clearly project above the existing roofline. We object to the impact that the proposed addition would have on the appearance and significance of this building.
- 2) The proposed slapping between the two principal rooms would have a significant impact on the historic interior, causing the loss of a large section of original cornice. We would prefer to see a smaller slapping with traditional doors rather than the proposed sliding door, which would be an inappropriate addition to the interior of this listed building.



Business Centre G.2 Waverley Court 4 East Market Street Edinburgh EH8 8BG Email: [planning.support@edinburgh.gov.uk](mailto:planning.support@edinburgh.gov.uk)

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100333858-004

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

## Applicant or Agent Details

Are you an applicant or an agent? \* (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

☐ Applicant ☒ Agent

## Agent Details

Please enter Agent details

Company/Organisation:	Studio DuB		
Ref. Number:		You must enter a Building Name or Number, or both: *	
First Name: *	Gordon	Building Name:	
Last Name: *	Duffy	Building Number:	17A-2
Telephone Number: *	07843564420	Address 1 (Street): *	West Crosscauseway
Extension Number:		Address 2:	
Mobile Number:		Town/City: *	EDINBURGH
Fax Number:		Country: *	United Kingdom
		Postcode: *	EH8 9JW
Email Address: *	studiodub@mac.com		

Is the applicant an individual or an organisation/corporate entity? \*

☒ Individual ☐ Organisation/Corporate entity

## Applicant Details

Please enter Applicant details

Title:	<input type="text" value="Ms"/>	You must enter a Building Name or Number, or both: *	
Other Title:	<input type="text"/>	Building Name:	<input type="text" value="3f3"/>
First Name: *	<input type="text" value="R"/>	Building Number:	<input type="text" value="2"/>
Last Name: *	<input type="text" value="Wober"/>	Address 1 (Street): *	<input type="text" value="Barony Street"/>
Company/Organisation	<input type="text"/>	Address 2:	<input type="text"/>
Telephone Number: *	<input type="text"/>	Town/City: *	<input type="text" value="Edinburgh"/>
Extension Number:	<input type="text"/>	Country: *	<input type="text" value="UK"/>
Mobile Number:	<input type="text"/>	Postcode: *	<input type="text" value="EH3 6PE"/>
Fax Number:	<input type="text"/>		
Email Address: *	<input type="text" value="REDACTED"/>		

## Site Address Details

Planning Authority:	<input type="text" value="City of Edinburgh Council"/>
Full postal address of the site (including postcode where available):	
Address 1:	<input type="text" value="3F3"/>
Address 2:	<input type="text" value="2 BARONY STREET"/>
Address 3:	<input type="text"/>
Address 4:	<input type="text"/>
Address 5:	<input type="text"/>
Town/City/Settlement:	<input type="text" value="EDINBURGH"/>
Post Code:	<input type="text" value="EH3 6PE"/>

Please identify/describe the location of the site or sites

Northing	<input type="text" value="674564"/>	Easting	<input type="text" value="325790"/>
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## Description of Proposal

Please provide a description of your proposal to which your review relates. The description should be the same as given in the application form, or as amended with the agreement of the planning authority: \*  
(Max 500 characters)

Attic conversion and new dormer window to the rear and new velux roof light

## Type of Application

What type of application did you submit to the planning authority? \*

- ☒ Application for planning permission (including householder application but excluding application to work minerals).
- ☐ Application for planning permission in principle.
- ☐ Further application.
- ☐ Application for approval of matters specified in conditions.

What does your review relate to? \*

- ☒ Refusal Notice.
- ☐ Grant of permission with Conditions imposed.
- ☐ No decision reached within the prescribed period (two months after validation date or any agreed extension) – deemed refusal.

## Statement of reasons for seeking review

You must state in full, why you are seeking a review of the planning authority's decision (or failure to make a decision). Your statement must set out all matters you consider require to be taken into account in determining your review. If necessary this can be provided as a separate document in the 'Supporting Documents' section: \* (Max 500 characters)

Note: you are unlikely to have a further opportunity to add to your statement of appeal at a later date, so it is essential that you produce all of the information you want the decision-maker to take into account.

You should not however raise any new matter which was not before the planning authority at the time it decided your application (or at the time expiry of the period of determination), unless you can demonstrate that the new matter could not have been raised before that time or that it not being raised before that time is a consequence of exceptional circumstances.

Refer Grounds of Appeal attached

Have you raised any matters which were not before the appointed officer at the time the Determination on your application was made? \*

☐ Yes ☒ No

If yes, you should explain in the box below, why you are raising the new matter, why it was not raised with the appointed officer before your application was determined and why you consider it should be considered in your review: \* (Max 500 characters)

Please provide a list of all supporting documents, materials and evidence which you wish to submit with your notice of review and intend to rely on in support of your review. You can attach these documents electronically later in the process: \* (Max 500 characters)

Householder\_Application-2 Planning and LBC design statement 3f3 2 Barony St 01\_1 Existing drawings 02\_1 Downtaking drawings 05\_1 Proposed 2 drawings Location Plan 05-1 Proposed 2 drawings 151220 Post\_Submission\_Additional\_Docum-2 Grounds of Appeal

## Application Details

Please provide the application reference no. given to you by your planning authority for your previous application.

20/05120/FUL

What date was the application submitted to the planning authority? \*

20/11/2020

What date was the decision issued by the planning authority? \*

20/08/2021

## Review Procedure

The Local Review Body will decide on the procedure to be used to determine your review and may at any time during the review process require that further information or representations be made to enable them to determine the review. Further information may be required by one or a combination of procedures, such as: written submissions; the holding of one or more hearing sessions and/or inspecting the land which is the subject of the review case.

Can this review continue to a conclusion, in your opinion, based on a review of the relevant information provided by yourself and other parties only, without any further procedures? For example, written submission, hearing session, site inspection. \*

☐ Yes ☒ No

Please indicate what procedure (or combination of procedures) you think is most appropriate for the handling of your review. You may select more than one option if you wish the review to be a combination of procedures.

Please select a further procedure \*

By means of inspection of the land to which the review relates

Please explain in detail in your own words why this further procedure is required and the matters set out in your statement of appeal it will deal with? (Max 500 characters)

To properly understand the Grounds of Appeal attached hereto

In the event that the Local Review Body appointed to consider your application decides to inspect the site, in your opinion:

Can the site be clearly seen from a road or public land? \*

☒ Yes ☐ No

Is it possible for the site to be accessed safely and without barriers to entry? \*

☒ Yes ☐ No



## Checklist – Application for Notice of Review

Please complete the following checklist to make sure you have provided all the necessary information in support of your appeal. Failure to submit all this information may result in your appeal being deemed invalid.

Have you provided the name and address of the applicant?. \*

☒ Yes ☐ No

Have you provided the date and reference number of the application which is the subject of this review? \*

☒ Yes ☐ No

If you are the agent, acting on behalf of the applicant, have you provided details of your name and address and indicated whether any notice or correspondence required in connection with the review should be sent to you or the applicant? \*

☒ Yes ☐ No ☐ N/A

Have you provided a statement setting out your reasons for requiring a review and by what procedure (or combination of procedures) you wish the review to be conducted? \*

☒ Yes ☐ No

Note: You must state, in full, why you are seeking a review on your application. Your statement must set out all matters you consider require to be taken into account in determining your review. You may not have a further opportunity to add to your statement of review at a later date. It is therefore essential that you submit with your notice of review, all necessary information and evidence that you rely on and wish the Local Review Body to consider as part of your review.

Please attach a copy of all documents, material and evidence which you intend to rely on (e.g. plans and Drawings) which are now the subject of this review \*

☒ Yes ☐ No

Note: Where the review relates to a further application e.g. renewal of planning permission or modification, variation or removal of a planning condition or where it relates to an application for approval of matters specified in conditions, it is advisable to provide the application reference number, approved plans and decision notice (if any) from the earlier consent.

## Declare – Notice of Review

I/We the applicant/agent certify that this is an application for review on the grounds stated.

Declaration Name: Mr Gordon Duffy

Declaration Date: 11/11/2021



Business Centre G.2 Waverley Court 4 East Market Street Edinburgh EH8 8BG Email: [planning.support@edinburgh.gov.uk](mailto:planning.support@edinburgh.gov.uk)

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100333858-001

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

## Description of Proposal

Please describe accurately the work proposed: \* (Max 500 characters)

Form new opening in third floor flat from hall to rear bedroom and new spiral stair and enclosure to attic space. Form new dormer window at rear of property facing gardens. Form new opening to connect two front rooms of property to be linked with sliding-folding solid-panel doors.

Has the work already been started and/ or completed? \*

☒ No ☐ Yes - Started ☐ Yes – Completed

## Applicant or Agent Details

Are you an applicant or an agent? \* (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

☐ Applicant ☒ Agent

## Agent Details

Please enter Agent details

Company/Organisation:	Studio DuB		
Ref. Number:		You must enter a Building Name or Number, or both: *	
First Name: *	Gordon	Building Name:	
Last Name: *	Duffy	Building Number:	17A-2
Telephone Number: *	07843564420	Address 1 (Street): *	West Crosscauseway
Extension Number:		Address 2:	
Mobile Number:		Town/City: *	EDINBURGH
Fax Number:		Country: *	United Kingdom
		Postcode: *	EH8 9JW
Email Address: *	studiodub@mac.com		
Is the applicant an individual or an organisation/corporate entity? *			
<input checked="" type="checkbox"/> Individual <input type="checkbox"/> Organisation/Corporate entity			

## Applicant Details

Please enter Applicant details

Title:	Ms	You must enter a Building Name or Number, or both: *	
Other Title:		Building Name:	3F3 2 Barony street
First Name: *	Rebecca	Building Number:	
Last Name: *	Wober	Address 1 (Street): *	3F3 2 Barony street
Company/Organisation		Address 2:	
Telephone Number: *		Town/City: *	Edinburgh
Extension Number:		Country: *	Scotland
Mobile Number:		Postcode: *	EH3 6PE
Fax Number:			
Email Address: *			

## Site Address Details

Planning Authority:

City of Edinburgh Council

Full postal address of the site (including postcode where available):

Address 1:

3F3

Address 2:

2 BARONY STREET

Address 3:

Address 4:

Address 5:

Town/City/Settlement:

EDINBURGH

Post Code:

EH3 6PE

Please identify/describe the location of the site or sites

Northing

674564

Easting

325790

## Pre-Application Discussion

Have you discussed your proposal with the planning authority? \*

☐ Yes ☒ No

## Trees

Are there any trees on or adjacent to the application site? \*

☐ Yes ☒ No

If yes, please mark on your drawings any trees, known protected trees and their canopy spread close to the proposal site and indicate if any are to be cut back or felled.

## Access and Parking

Are you proposing a new or altered vehicle access to or from a public road? \*

☐ Yes ☒ No

If yes, please describe and show on your drawings the position of any existing, altered or new access points, highlighting the changes you proposed to make. You should also show existing footpaths and note if there will be any impact on these.

## Planning Service Employee/Elected Member Interest

Is the applicant, or the applicant's spouse/partner, either a member of staff within the planning service or an elected member of the planning authority? \*

☐ Yes ☒ No

## Certificates and Notices

CERTIFICATE AND NOTICE UNDER REGULATION 15 – TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (SCOTLAND) REGULATION 2013

One Certificate must be completed and submitted along with the application form. This is most usually Certificate A, Form 1, Certificate B, Certificate C or Certificate E.

Are you/the applicant the sole owner of ALL the land? \*

☒ Yes ☐ No

Is any of the land part of an agricultural holding? \*

☐ Yes ☒ No

## Certificate Required

The following Land Ownership Certificate is required to complete this section of the proposal:

Certificate A

## Land Ownership Certificate

Certificate and Notice under Regulation 15 of the Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

Certificate A

I hereby certify that –

(1) - No person other than myself/the applicant was an owner (Any person who, in respect of any part of the land, is the owner or is the lessee under a lease thereof of which not less than 7 years remain unexpired.) of any part of the land to which the application relates at the beginning of the period of 21 days ending with the date of the accompanying application.

(2) - None of the land to which the application relates constitutes or forms part of an agricultural holding

Signed: Gordon Duffy

On behalf of: Ms Rebecca Wober

Date: 19/11/2020

☒ Please tick here to certify this Certificate. \*

## Checklist – Application for Householder Application

Please take a few moments to complete the following checklist in order to ensure that you have provided all the necessary information in support of your application. Failure to submit sufficient information with your application may result in your application being deemed invalid. The planning authority will not start processing your application until it is valid.

- a) Have you provided a written description of the development to which it relates? \* ☒ Yes ☐ No
- b) Have you provided the postal address of the land to which the development relates, or if the land in question has no postal address, a description of the location of the land? \* ☒ Yes ☐ No
- c) Have you provided the name and address of the applicant and, where an agent is acting on behalf of the applicant, the name and address of that agent? \* ☒ Yes ☐ No
- d) Have you provided a location plan sufficient to identify the land to which it relates showing the situation of the land in relation to the locality and in particular in relation to neighbouring land? \*. This should have a north point and be drawn to an identified scale. ☒ Yes ☐ No
- e) Have you provided a certificate of ownership? \* ☒ Yes ☐ No
- f) Have you provided the fee payable under the Fees Regulations? \* ☒ Yes ☐ No
- g) Have you provided any other plans as necessary? \* ☒ Yes ☐ No

Continued on the next page

A copy of the other plans and drawings or information necessary to describe the proposals (two must be selected). \*

You can attach these electronic documents later in the process.

- ☒ Existing and Proposed elevations.
- ☒ Existing and proposed floor plans.
- ☒ Cross sections.
- ☒ Site layout plan/Block plans (including access).
- ☒ Roof plan.
- ☒ Photographs and/or photomontages.

Additional Surveys – for example a tree survey or habitat survey may be needed. In some instances you may need to submit a survey about the structural condition of the existing house or outbuilding. ☐ Yes ☒ No

A Supporting Statement – you may wish to provide additional background information or justification for your Proposal. This can be helpful and you should provide this in a single statement. This can be combined with a Design Statement if required. \* ☒ Yes ☐ No

You must submit a fee with your application. Your application will not be able to be validated until the appropriate fee has been Received by the planning authority.

## Declare – For Householder Application

I, the applicant/agent certify that this is an application for planning permission as described in this form and the accompanying Plans/drawings and additional information.

Declaration Name: Mr Gordon Duffy

Declaration Date: 20/11/2020

**Payment Details**

Online payment: [REDACTED]  
[REDACTED]

Created: [REDACTED]



Business Centre G.2 Waverley Court 4 East Market Street Edinburgh EH8 8BG Email: [planning.support@edinburgh.gov.uk](mailto:planning.support@edinburgh.gov.uk)

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100333858-003

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

## Site Address Details

Planning Authority:

Full postal address of the site (including postcode where available):

Address 1:

Address 2:

Address 3:

Address 4:

Address 5:

Town/City/Settlement:

Post Code:

Please identify/describe the location of the site or sites

Northing

Easting

## Applicant or Agent Details

Are you an applicant or an agent? \* (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

☐ Applicant ☒ Agent



## Agent Details

Please enter Agent details

Company/Organisation:	Studio DuB		
Ref. Number:		You must enter a Building Name or Number, or both: *	
First Name: *	Gordon	Building Name:	
Last Name: *	Duffy	Building Number:	17A-2
Telephone Number: *	07843564420	Address 1 (Street): *	West Crosscauseway
Extension Number:		Address 2:	
Mobile Number:		Town/City: *	EDINBURGH
Fax Number:		Country: *	United Kingdom
		Postcode: *	EH8 9JW
Email Address: *	studiodub@mac.com		

Is the applicant an individual or an organisation/corporate entity? \*

☒ Individual ☐ Organisation/Corporate entity

## Applicant Details

Please enter Applicant details

Title:	Ms	You must enter a Building Name or Number, or both: *	
Other Title:		Building Name:	3f3
First Name: *	R	Building Number:	2
Last Name: *	Wober	Address 1 (Street): *	Barony Street
Company/Organisation		Address 2:	
Telephone Number: *		Town/City: *	Edinburgh
Extension Number:		Country: *	UK
Mobile Number:		Postcode: *	EH3 6PE
Fax Number:			
Email Address: *			

## Proposal/Application Details

Please provide the details of the original application(s) below:

Was the original application part of this proposal? \*

☒ Yes ☐ No

## Application Details

Please select which application(s) the new documentation is related to.

Application: \* 100333858-002, application for Listed Building Consent, submitted on 20/11/2020

## Document Details

Please provide an explanation as to why the documentation is being attached after the original application was submitted: \* (Max 500 characters)

Revised fenestration (only) of proposed dormer window per further discussion with neighbours

## Checklist – Post Submission Additional Documentation

Please complete the following checklist to make sure you have provided all the necessary information in support of your application.

The additional documents have been attached to this submission. \*

☒ Yes ☐ No

## Declare – Post Submission Additional Documentation

I/We the applicant/agent certify that this is a submission of Additional Documentation, and that all the information given in this submission is true to the best of my/the applicants knowledge.

Declaration Name: Mr Gordon Duffy

Declaration Date: 16/12/2020

To address these determining issues, it needs to be considered:

**a) Whether the proposals will have an adverse impact on the character or appearance of the Conservation Area?**

The proposal is located in the Northern New Town and while there is no specific mention of the subjects or the street within the text of the New Town Conservation Area Character Appraisal, in general terms, the document tells us that when assessing development, the General Criteria include,

*“the appropriateness of the overall massing of development, its scale...its proportions and its relationship with its context i.e. whether it sits comfortably. Development should be in harmony with, or complimentary to, its neighbours having regard to the adjoining architectural styles. The use of materials generally matching those which are historically dominant in the area is important, as is the need for the development not to have a visually disruptive impact on the existing townscape.” P51*

*“Proposals for the alteration or extension of properties in the Conservation Area will normally be acceptable where they are sensitive to the existing building, in keeping with the character and appearance of the particular area and do not prejudice the amenities of adjacent properties.” p52*

The local townscape contains many examples of dormer windows in various formations as pictured in the Design Statement to the Application. It is true to say that above eaves level the local character displays a wide range of different, original treatments of roof and dormers. The character of the local area also includes locations where a special emphasis is placed on the design of a corner.

Amongst the local dormers one example could hardly be any closer, it is in the adjoining tenement at 6 Barony Street, already pictured in the Design Statement 3d: an array of historic zinc-clad dormer windows to the front elevation of a similar double hipped roof on Barony Street. For dormers to the rear of local tenements a local example can be noted on the same urban corner to the rear of the tenement near the corner of Broughton Street and Broughton Place, circled A:





There are also several A Listed buildings in the local area which have historic dormer windows in the rear elevation including those at: Albany Street, B and at York Place, circled C & D:



View C,  
York Place rear view, from Dublin Street Lane:



View D,  
York Place rear view, from York Lane:



As can be seen from these examples and those in the Design Statement, a variety of dormer windows provide a natural punctuation to the language of the Conservation Area and can amplify the character of the elevation, providing visual interest and detail to the eye.



pic.3d: array of historic zinc-clad dormer windows, various forms, to the front elevation double hipped roof 4,6,8, Barony St.



View B, Albany Street rear view,  
from Dublin Street Lane



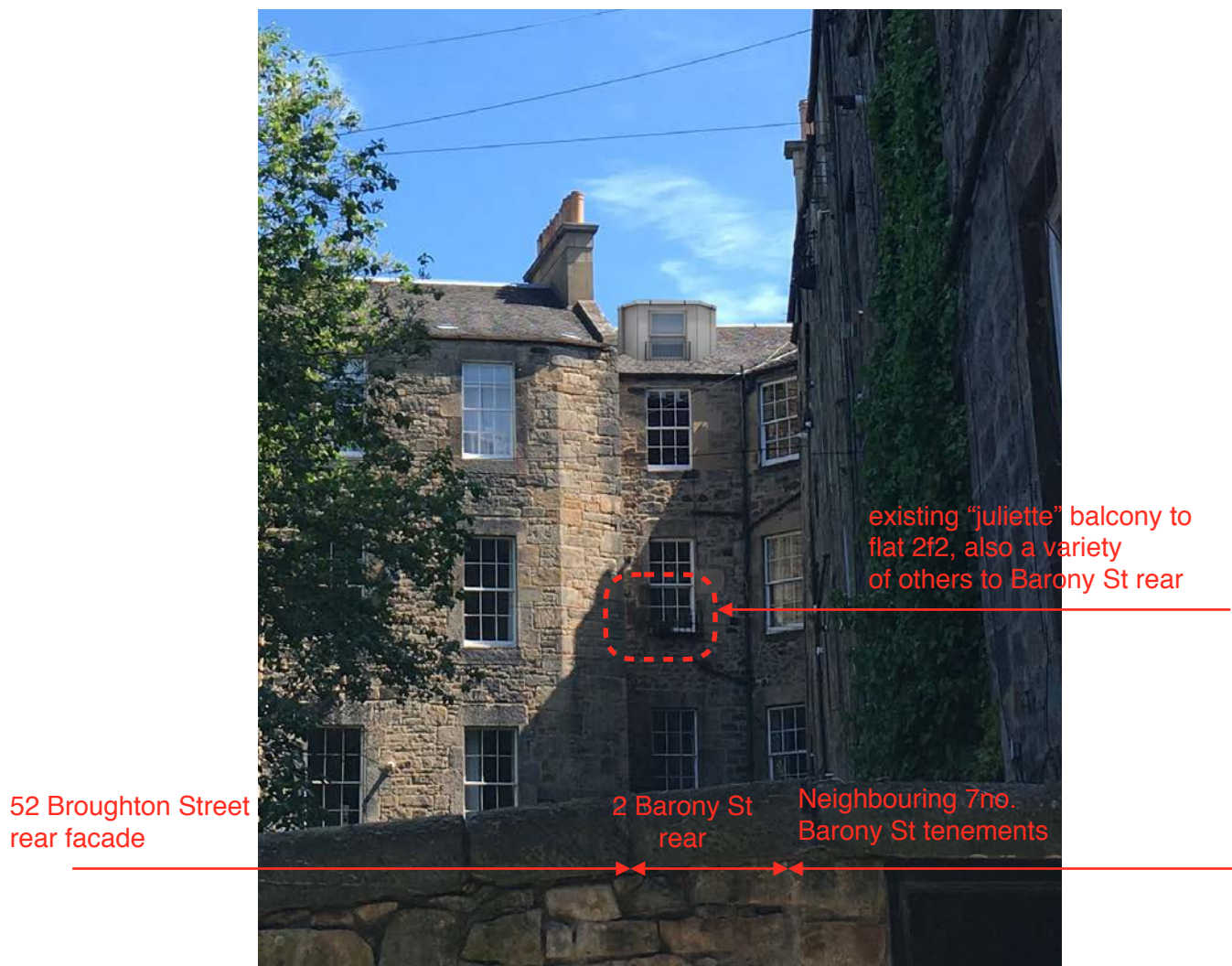
Design Statement 3e, Albany Street front view  
turret and bay window dormer formations



Finally, from Gayfield Street Lane one can look up towards the direction of the subjects at 2 Barony Street and see another dormer in the rear slope of a roof, to the building on Broughton Place Lane, the front facade of which is viewed in the vista from the single window front room of the subjects at 2 Barony Street:



The proposal to which this appeal relates is for a dormer window, consistent with the character and appearance of these similar examples in the Conservation Area which, and very similar to the above example, occurs at the back of a building, in the context of an internal corner and sits directly in line with the existing windows to all the lower storeys of the rear elevation.



Photomontage of proposal as shown in Design Statement, above. Note that this is a “zoomed in” view, made to look larger than what meets the eye at the distance of Barony Place, (at approximately 7 tenements distance: more than 50 metres from the proposal, see “rear photo as existing” on following pages. Also note that adjacent tenement 52 Broughton Street (to the left in this image) protrudes from the rear facade of this proposal such that the proposed dormer appears below the adjacent roof ridge lines on both sides:

For these reasons the proposal would not have an adverse impact on the character or appearance of the CA:

- The scale of the proposal is in proportion to its context
- The location of the proposal sits comfortably within the location,
- The design is in harmony with other examples of historic dormer windows both in the front and rear facades of local Listed buildings, occurring in single and in double hipped roofs
- The particular treatment given to the corner location is in keeping with particular treatments given to corner locations in the local area.
- The proposed materials match those in similar examples in the neighbouring tenement

Therefore any minor impact that proposal may be seen to have is in keeping with the character and appearance of the Conservation Area.



**b) Whether the proposals affect the character or setting of the listed building?**

The setting of the proposal is in an A Listed building which forms the corner of Broughton St and Barony Street corner. When standing up Broughton Street looking towards the subjects the handsome “Corner Tower” from which the tenement largely derives its listing is prominent, and from this viewpoint the setting also includes dormer windows in nearby buildings with similar double hipped roofs in the same view, for example along Broughton Place.



The proposed dormer is not located in a place which can be seen from the front elevations of this corner tenement on Barony Street or Broughton street. Equally it would be impossible from the rear elevation to view the proposal simultaneously with the Corner Tower on the street frontage (at adjacent flat 3f2) which is the most obviously distinctive feature noted in the Listing for the tenement. The rear facade of the building can only be viewed at a distance of several metres from a side street and has no features noted in the Listing.

Rear facade of 2 Barony Street as existing, (below right) highlighting two windows belonging to flat 3f3, just visible at a distance of 53 metres from the small portion of Barony Place which affords a mere glimpse of the rear facade of the subjects. Modern House at 4 Barony Place (below left) which obscures the partial view of the rear facades of Barony Street and Broughton Street.



Please note that the side street, Barony Place, (below left) has a later era of tenement construction to one side (also photographed in the Design Statement 3b) and to the other side is terminated by a modern house at 4 Barony Place (formerly a garage and known as 2 Barony Place). At the end of Barony Place the most dominant element of the vista is a modern mews arrangement of residential buildings which introduce visual clutter of an irregular assembly of roof levels and a clashing palate of materials: thin stone facade, timber cladding, glazed balconies, profiled aluminium cladding, render, below right.



In stark contrast to this jumble of forms and materials, all incongruous to the surroundings, the subject of this appeal is designed to make every effort to fit in to the vernacular of the 1837 terrace. Barony Place is a narrow street of about 45 metres in length, there is only approximately 5 metres on one side of the pavement from which the rear facade of Barony Street may be seen, (marked x) at a distance of approximately 53 metres, narrowly behind the modern house (4 Barony Place), and the area of roof in question is nestled in the internal corner and hard to see, recessed back a few metres from the neighbouring facades. For these reasons the proposal, while it is designed to be in keeping with the character and setting of its Listed context, would have a very negligible impact on the character or appearance of the Conservation Area as it is only seen at a distance, from 4% of an unexceptional side street and recessed from the main facades.

In stark contrast, in the local area, a short walk from this location, there is to be a new addition to the roof of an A Listed tenement at 16 Abercromby Place. In full sight from the street frontage a new “Glass pod” can be seen under construction. HES assessed this as follows, “*we consider it unlikely that this proposal will have a significant visual impact on Abercromby Place*”. These photos, taken from Abercromby Place, show what HES consider unlikely to have a visual impact:





HES added, “*Your Council may wish to investigate this in more detail to ensure any impacts are indeed kept to a minimum*”. The CEC has stated that “*The glazed pod would be set back from the principle facade and would have limited visibility from the surrounding area.*” The drawings show that the glazed pod is a hefty 6.7 metres wide and 6.2 metres deep, (considerably larger than the Planning standard for a “studio” flat of 32m<sup>2</sup>). This can be seen clearly when looking at the front elevational composition of Abercromby Place and the higher part of Dublin Street by any passer by who has no idea that the rear facade ever had any past interventions from other more modern eras. The proposed materials do not match the surroundings. Yet at 16 Abercromby Place the CEC writes that “*The proposal would...protect and enhance the appearance of the conservation area and protect the qualities of the world heritage site.*” Bearing this in mind, by comparison, the subject of this Appeal at 2 Barony Street is not seen from the front facade, and can only be seen from a narrow side street, at a distance of over 50 metres, and is literally set back from the surrounding rear facades owing to its corner location. The proposed dormer is only visible from this distant viewpoint and takes up just 3.5 square metres plan area of the roof, unlike the example just discussed which adds a whopping 41.5 square metres to the accommodation to that property at Abercromby Place, which has been given approval.

Moreover, the proposal being appealed here at 2 Barony Street presents a window balanced exactly in line over windows in the storeys below and given that the form, material and location of the dormer is seen in local examples cited here, this proposal is being appealed on the basis that it does not have an adverse impact on the character or appearance of the Conservation area but is in fact designed to be sensitive to the existing building, with very modest massing appropriate to the context. Therefore what minor impact the proposals may have appears to be consistent with the character and setting of the Listed building.

### **c) Whether the proposals are detrimental to the residential amenity of neighbours?**

The proposals do not cause detriment to the residential amenity of neighbours in that they do not block any vistas, cause any overshadowing, or overlooking or in any other way take up any space relating to the amenity of neighbours.

On the other hand, the applicant has owned the flat for over 20 years and during this time the applicant has taken a lead on conducting common repairs and general maintenance amongst the joint owners. The proposal answers the need to locate bedrooms on the quiet side of the property, unimpeded by traffic noise and noise from social gathering around licensed premises which is a feature of the area. The other alternatives for the family to achieve the space for living room would entail moving out of the city centre and seeking space in the suburbs of Edinburgh which would detract from the social balance and inclusiveness of the city centre. Historically families lived in city centre tenements and there are distinct benefits when the city centre maintains a balance inclusive of families who want to stay, these include the 20 minute city, a family remaining in the city centre is less reliant on the car, and economies linked to families being included amongst the social mix. It is clear that in the absence of families living in city centre tenements the property would be attractive for rental including long lets and short lets and may lie empty for prolonged periods instead of being occupied. At present, the property is occupied by an owner with a profound knowledge of the maintenance of the building, respect for the Listed status and an application designed to be in keeping with the character and setting of the building, therefore contributing positively to the amenity of the area.

#### **d) Whether any comments have been raised and addressed?**

The Consultation period for this proposal ended 19th December. The proposals LBC and FUL each have one objection received, from the AHSS, with identical text copied and pasted from one application to the other. The AHSS point 1 states that *“the proposed addition of a dormer window to the rear elevation would materially alter the character of this category A Listed building.”*, which statement ignores the fact that the Rear Elevation is not seen and therefore not described in the Listing. It has been stated in this appeal that the features specific to the listing, *“swept down cornices”* and, *“corner tower breaking the eaves [both on the North East/ Principal Elevation]”*, are both not visible in the same view as the Rear Elevation and therefore this proposal which appears exclusively on the rear elevation does not materially alter the character of the features which make this tenement exceptional. The only material reason the AHSS give for this claim is that *“the proposed dormer window would be visible from Barony Place, from which point it would clearly project above the existing roofline”*. This is at odds with the fact that the proposed West Elevation shows that the dormer clearly does not project above the existing roofline. The AHSS have not explained that Barony Place is a small side street made up of later tenements and incongruous twentieth century additions most unlike this modest proposal. The AHSS also have not noted that there is only about a metre or so of pavement on Barony Place from which this proposed dormer could be visible at all, at a distance of seven tenement widths, 53 metres, from the proposal. Importantly the AHSS have not noted that the rear facade of the subjects is set back from the two neighbouring tenements to such an extent that the proposed dormer would appear to sit neatly *below* the roof line of both adjacent tenements, therefore projecting less than the local example of a rear dormer shown here located on Broughton Place Lane, as seen from Gayfield Lane. So, while the AHSS write, *“We object to the impact that the proposed addition would have on the appearance and significance of this building”*, this contradicts the statement of HES who have already written that *“we accept that the visibility of any dormer would be limited (and the impact would not therefore be significant).”* AHSS make no comment at all on whether the proposal preserves or enhances the Character or Appearance of the Conservation Area, presumably because the proposals have a negligible effect on the Conservation Area owing to their location and their sympathetic materials and design, both in keeping with local examples in the Conservation Area as demonstrated in this appeal.

The AHSS point 2, copied and pasted from their Listed Building comments, deals with the proposed internal opening between the two front rooms, which point is pertinent to the Listed Building application and not the Planning Application and therefore is dealt with in the Listed Building appeal document and not here.

During the Consultation period the applicant received an informal message from a neighbour requesting for the proposed rear window to have astragals, three astragaled alternatives were then sketched out and shown to the neighbour in discussion which enabled her to agree to a proposal for an astragal window with 3 over 6 panes. The drawing for this was issued to the Planning department, Diana Garrett, on 16th December, (email sent by Gordon Duffy, Studio DuB) and the neighbour had proposed to write to the Council in support of the application when the drawing was uploaded to the Portal. This drawing was not uploaded by the CEC onto the Planning Portal. This drawing does form part of the proposal. Therefore while the original application was consistent with some existing examples of local historic dormers (which owing to their small size have sash windows with single panes of glass), this proposal now incorporates an astragal window in response to comments and in harmony with the surrounding fenestration.

Having read the Historic Environment Scotland report we learn that,

1. HES neither object nor support the proposal, *"Our view is that the proposals do not raise historic environment issues of national significance and therefore we do not object. However, our decision not to object should not be taken as our support for the proposals."*

2. HES have commented about the gradient of the existing roof pitch, *"A key external feature of this building is the shallow pitched roofs to both the front and rear"* however on thorough reading of the Listing please note that the pitch of the roof is not mentioned anywhere, not in the text of the Description nor in the Statement of Significance for the Listing, hence the pitch of the roof does not appear to be considered as enough of a *"key external feature"* to be mentioned at all in the Listing.

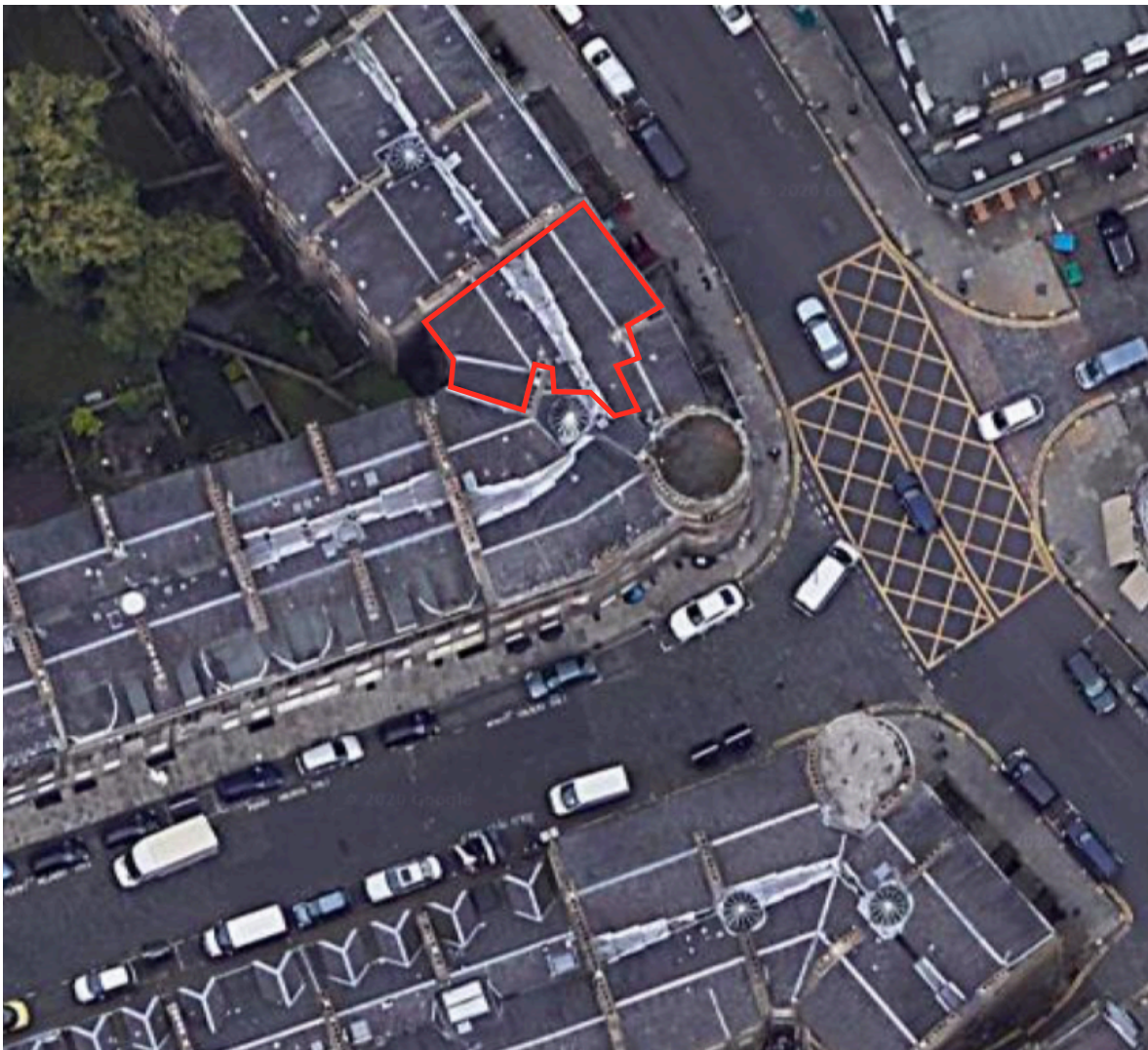
3. HES have commented that a dormer window *"would have an impact on the appearance and significance of the Listed building"* however the text of the Listing makes no mention of the rear elevation of the building where this proposal is located at all, stating simply, *"REAR ELEVATION: not seen"*. The fact that the rear elevation can hardly be seen from any streetscape at all is recognised by HES, *"While we accept that the visibility of any dormer would be limited (and the impact would not therefore be significant).."* which acceptance seems to directly contradict the opening statement of the same paragraph. It is hard to tell how a dormer window to a rear facade which was not significant enough to be viewed for the Listing in a pitched roof which was not significant enough to be mentioned in the Statement of Significance for the Listing and which can only be narrowly viewed at a great distance from a lane off a side street could make much of an impact on the building at all.

4. HES have stated that the proposed dormer window *"would still make an incongruous addition"*. Given the several local examples of dormer windows, on rear elevations of roofs, including double hipped roofs and particular examples of dormer windows at corner locations, it is difficult to substantiate how this proposal could appear *"incongruous"* since it is consistent with and sympathetic to these local, historic examples. Moreover, this proposal is far less incongruous than the unsympathetic modern additions of new housing as seen from Barony Place and of new glazed roof pod on Abercromby Place.

5. HES states that *"The addition of a dormer window would give the roofscape more prominence than it was intended to have"*, yet because the area can hardly be seen *"the impact would not be significant"*. It is hard to understand how a proposal which *"would not have a significant impact"* could be capable of giving a roofscape *"more prominence"*. Since the prominent Corner Tower to the front facade is mentioned in the Description of the Listing it is clear that in a corner situation a particular design feature occurs in this Conservation Area, therefore, in the same spirit, a proposal located in a corner location at the rear, and of a scale suited to its context could be seen to fit with the character and appearance of the Conservation Area in general.

## 1. Existing building

The subjects are located on the third floor of the stone built tenement which creates the corner of Broughton Street and the north flank of Barony Street. The tenement, built in 1827, can be seen as part of a pair along with the tenement on the south flank of Barony Street, corner of Broughton Street as both buildings have a “turret” (corner tower) which pronounces the corner. This feature and the nuanced stonework of the front elevation of the building is noted in the A Listing of the property, (LB30071). Each tenement floor has two large flats off the communal stair but the top floor has three smaller flats, owing to the different division of space afforded by the extra floor of the turret to the central flat of the three. The subject of this application, flat 3f3, 2 Barony Street is the property adjacent to the turret flat, to the north. As such, the front elevation of this property is of ashlar stone facing onto Broughton Street and the rear elevation is of rubblework masonry facing the tenement gardens to the rear of Barony Street. The existing roof is slate on timber rafters, double hipped with a central lead valley which runs above the circulation corridor of the flat. Flat 3f3, 2 Barony Street does not have an elevation onto Barony Street itself and owing to the corner plot there is no tenement garden or back green leading from the communal stair. The adjoining terrace of 50-54A Broughton Street is flush with the street elevation and yet deeper in plan therefore the rear elevation of 2 Barony Street is effectively recessed into the corner.



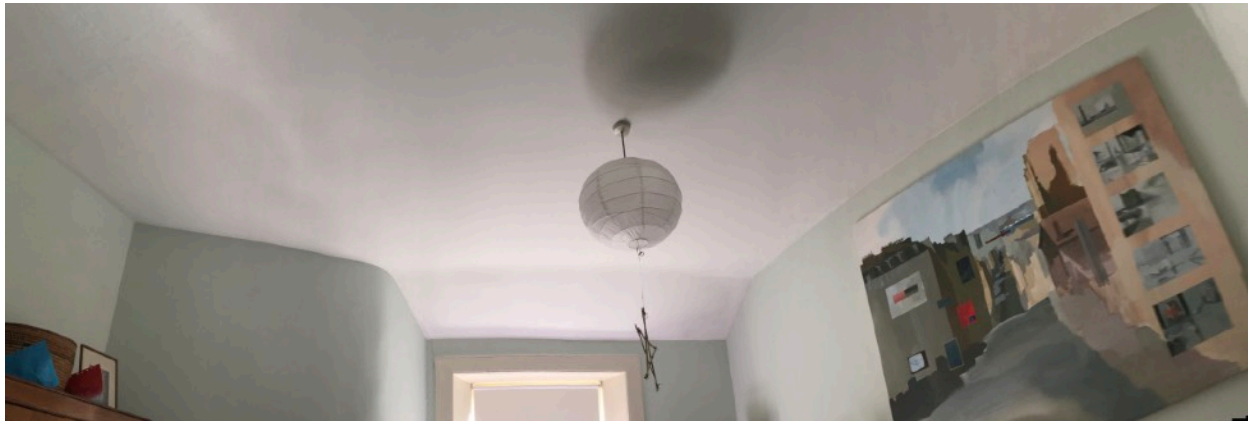


## 2. Proposed design

Flat 3f3 contains 4 “apartments”, that is, two principal rooms which face onto Broughton Street and two smaller rooms arranged around the internal corner at the rear of the tenement. This design concerns the rear of the flat only, that is, one of the smaller rooms which lie below the pitched roof of the rear elevation. As the proposal concerns the rear slope of the roof only, the proposed changes would not be seen from Barony St or Broughton St as this area faces the tenement back gardens. Please note that owing to being in a corner and the projecting elevations of the adjacent tenement, this area of roof is naturally tucked away and quite hard to see from the street: it can only narrowly be seen at a distance of more than 50 metres from the adjacent street of Barony Place, from where the rubblework masonry rear elevation of 2 Barony Street is just visible, please see photo 1:



The proposed design would modify the room at the rear of the tenement which is already an a-typical room. Owing to the angles of the internal corner of the tenement this room is non-square in plan. This room does not form part of the principal rooms of the flat which have original features such as ceiling mouldings or original fire place surrounds, instead this room has a slight coombed ceiling and no original ceiling moulding or fire surround.



The proposal forms an opening into this room from the existing hallway and tucks a spiral stair in the corner of this room to access an attic room. The design proposal is for a new dormer window in traditional materials to be located centrally above the existing window of the rear room. The proposed wc is located so that it can drain into the existing stack. The height from floor finish level to underside of roof is proposed be shared between the third floor and the proposed attic room such that the height of the proposed dormer roof is set just below the existing roof ridge. In this way the layout has been designed to nestle within the grain of the existing building and not to detract from the original features from which the Listing is derived, please refer to photomontage 2:





### 3. Design precedents

Please refer to attached photos showing some of the wide variety in the design of other dormer windows in the local area.

There are two rear dormers in the same city block as the subjects at 2 Barony Street, seen here on the rear elevation of Drummond Place, photo 3a:



Also local and seen from the rear window of flat 3f3, 2 Barony Street are more dormer windows, for example on tenements from the later Victorian era along Barony Place, photo 3b:

In the distance the roofs of Dublin Street can also be seen with dormer window just visible on the left.



Just adjacent to those dormers on Dublin Street are these mansard bay windows on Dublin Street seen from closer up, photo 3c:



As for Barony St itself, the neighbouring tenements at numbers 4,6 &8, have a row of dormers on their front elevation, clad in sheet material of zinc, photo 3d:



On Albany St, one street south of Barony St, almost every building has a dormer window and these examples cover a range of different styles including turret and bay window, photo 3e:





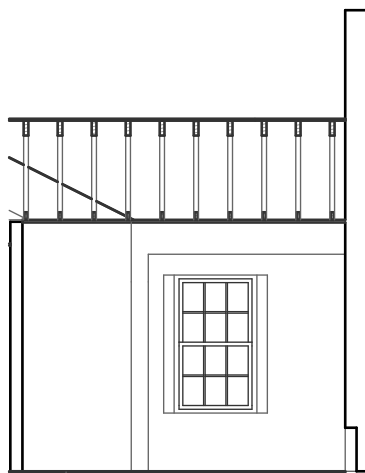
#### 4. Summary

The proposal in this application is for a bay window version, clad in zinc as seen along Barony Street and in form somewhat like some of the examples on Albany Street which show an angled bay, the reason being that this appears best suited to the roof profile of the existing corner tenement. Broughton Street itself also has many examples of dormer windows with a similar angled bay window arrangement.

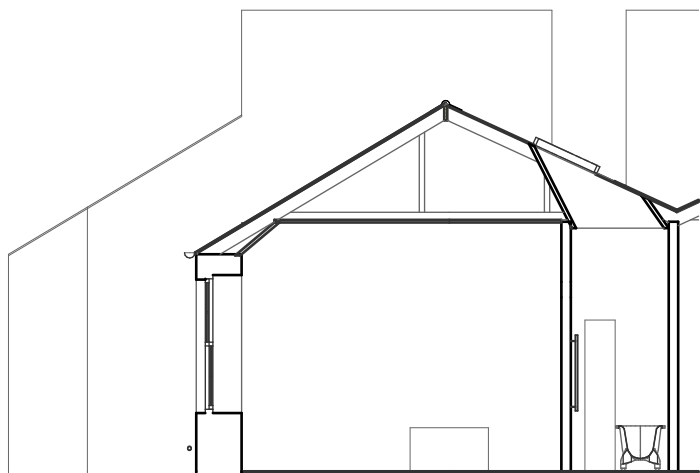
To conclude, a photo showing the rear of the subjects at flat 3f3, 2 Barony Street just seen from inside the locked garden at Barony Place, bedroom window is partially obscured by the projecting tenement along Broughton Street and proposed dormer would not be visible from this angle. The “juliette balcony” proposed for the dormer window recalls a similar metal railing balcony on the window directly below flat 3f3 2 Barony Street, at level 2. Meanwhile along the rear elevations of Barony Street other lightweight metal “juliette balconies” can also be seen.



“juliette” balcony to rear elevation of flat 2f2, 2 Barony Street, directly below flat 3f3.



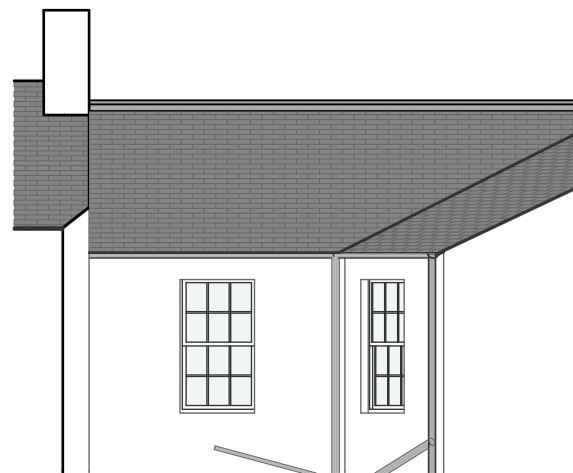
Section A



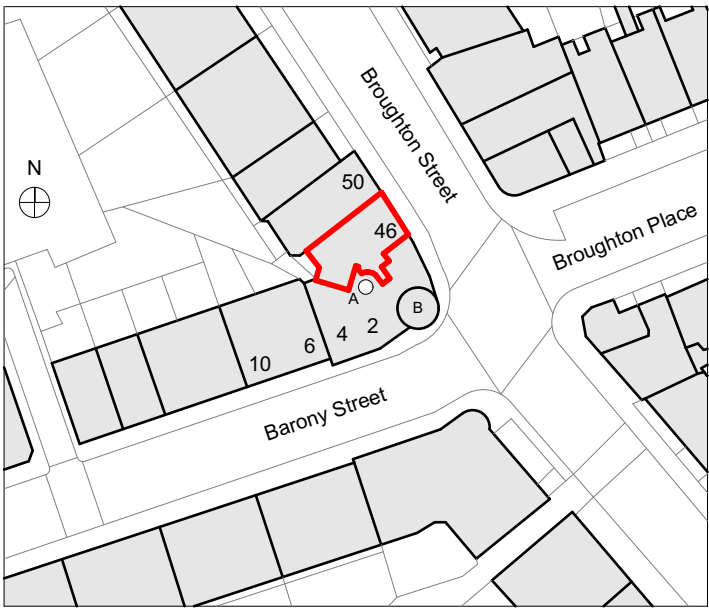
Section B



Section C

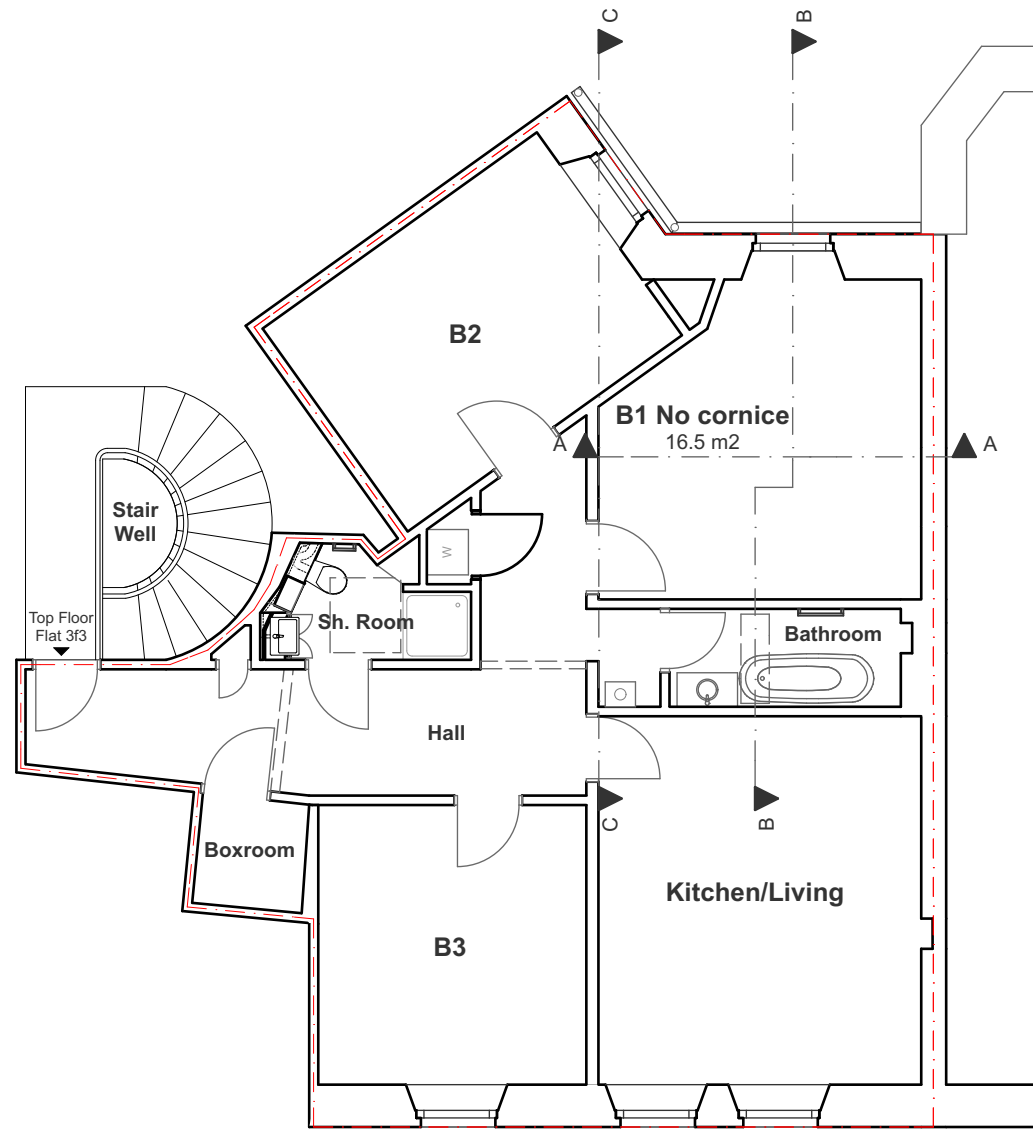


West Elevation old

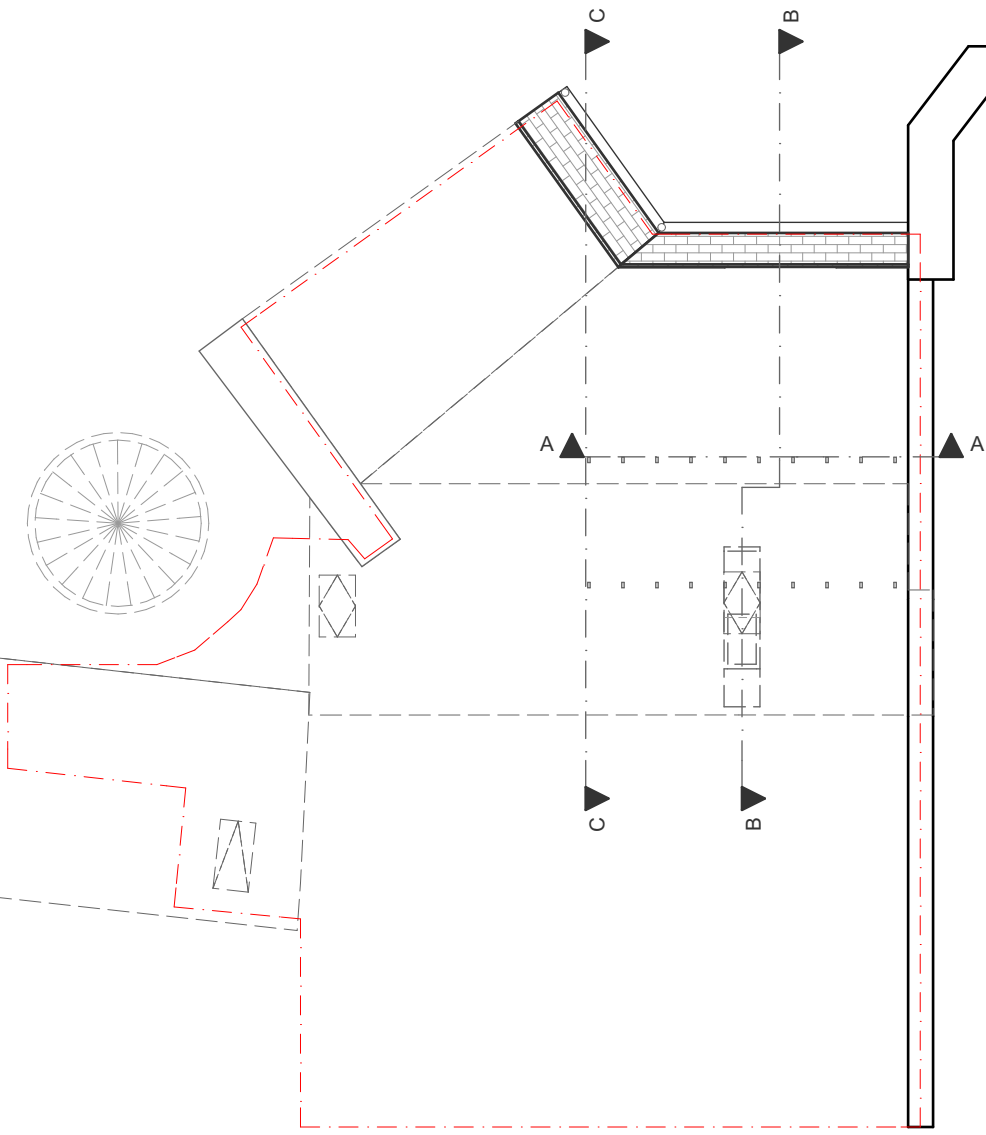


3f3, 2 Barony Street is located within the A listed corner tenement dating from 1827 shown with red line flat 3f3

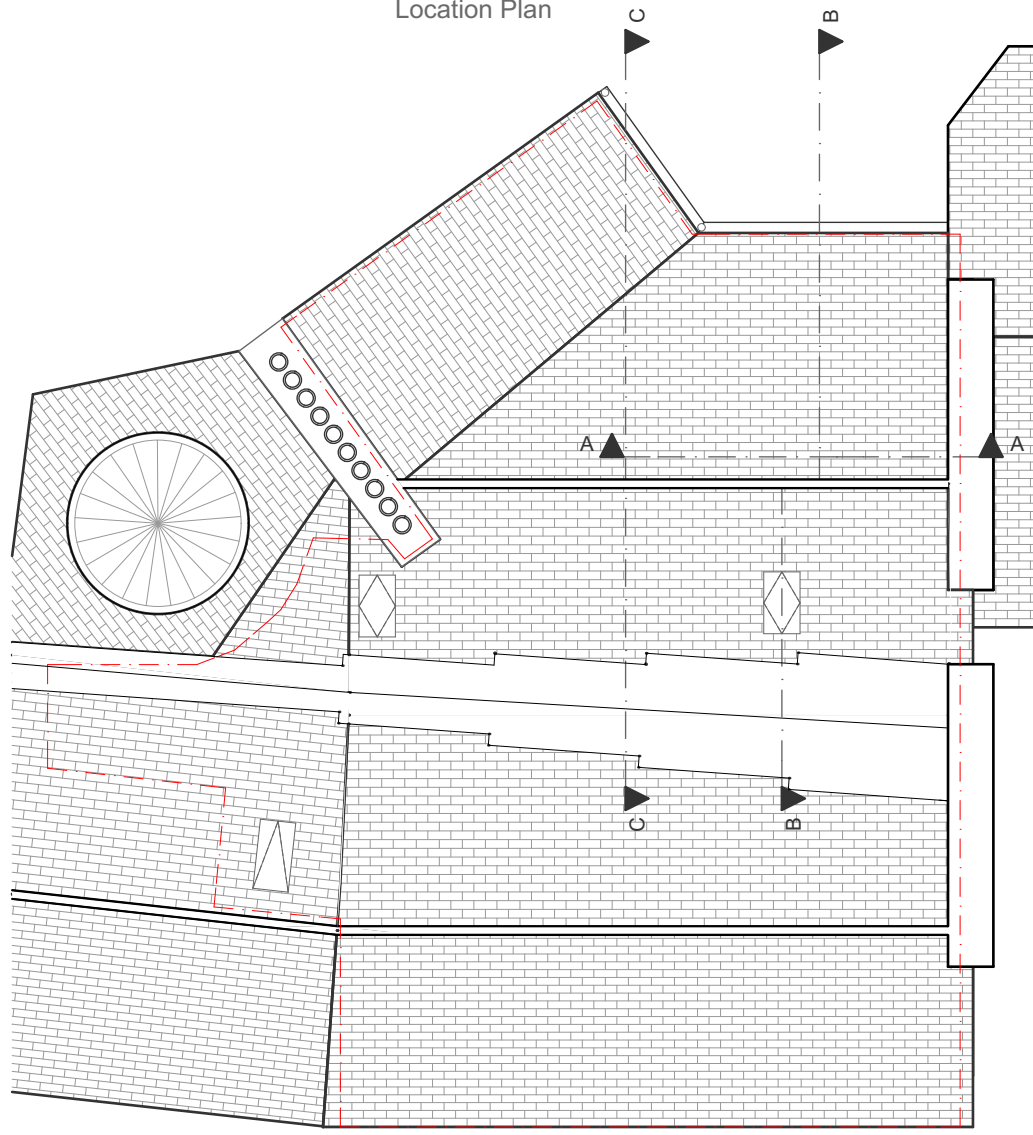
A= Cupolla  
B= Turret



Third Floor



Attic Floor



Roof Plan



Studio DUB  
17a/2 West Crosscauseway  
Edinburgh  
EH8 9JW  
0131 668 1536  
studiodub@mac.com

**3f3/2 Barony St**  
**EH3 6PE**  
Rebecca Wober

Existing drawings  
**904.01.1**

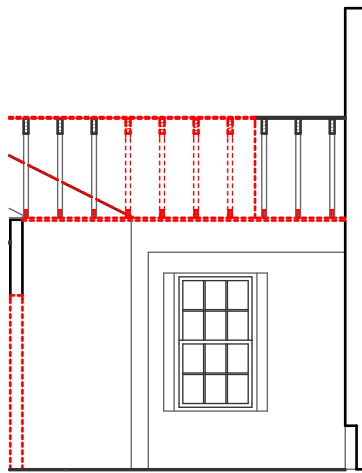
Scale:  
**1:1250, 1:100**  
Drawing Status:  
**Planning**

Drawn by: Angela & Remi  
Checked by: Gordon Duffy

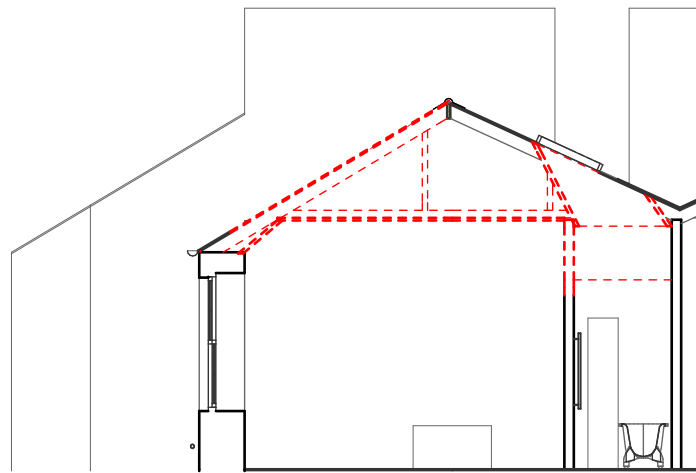
**Date: 23/10/2020**

3 cm ACTUAL  
IF THE ABOVE DIMENSION DOES NOT MEASURE THREE CENTIMETERS (3 cm) EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

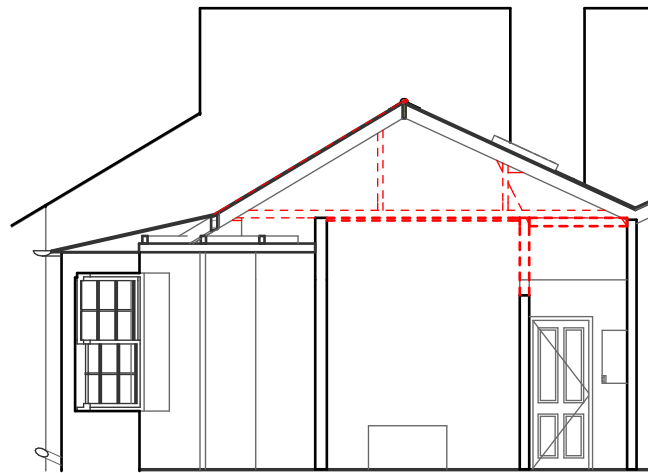




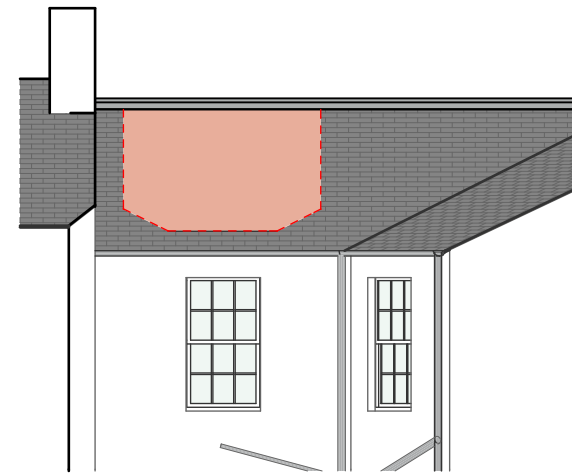
Downtaking Section A



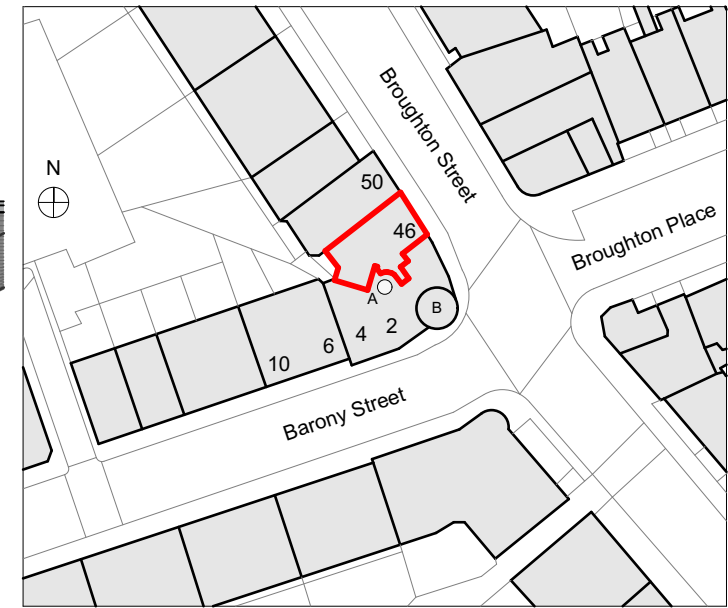
Downtaking Section B



Downtaking Section C

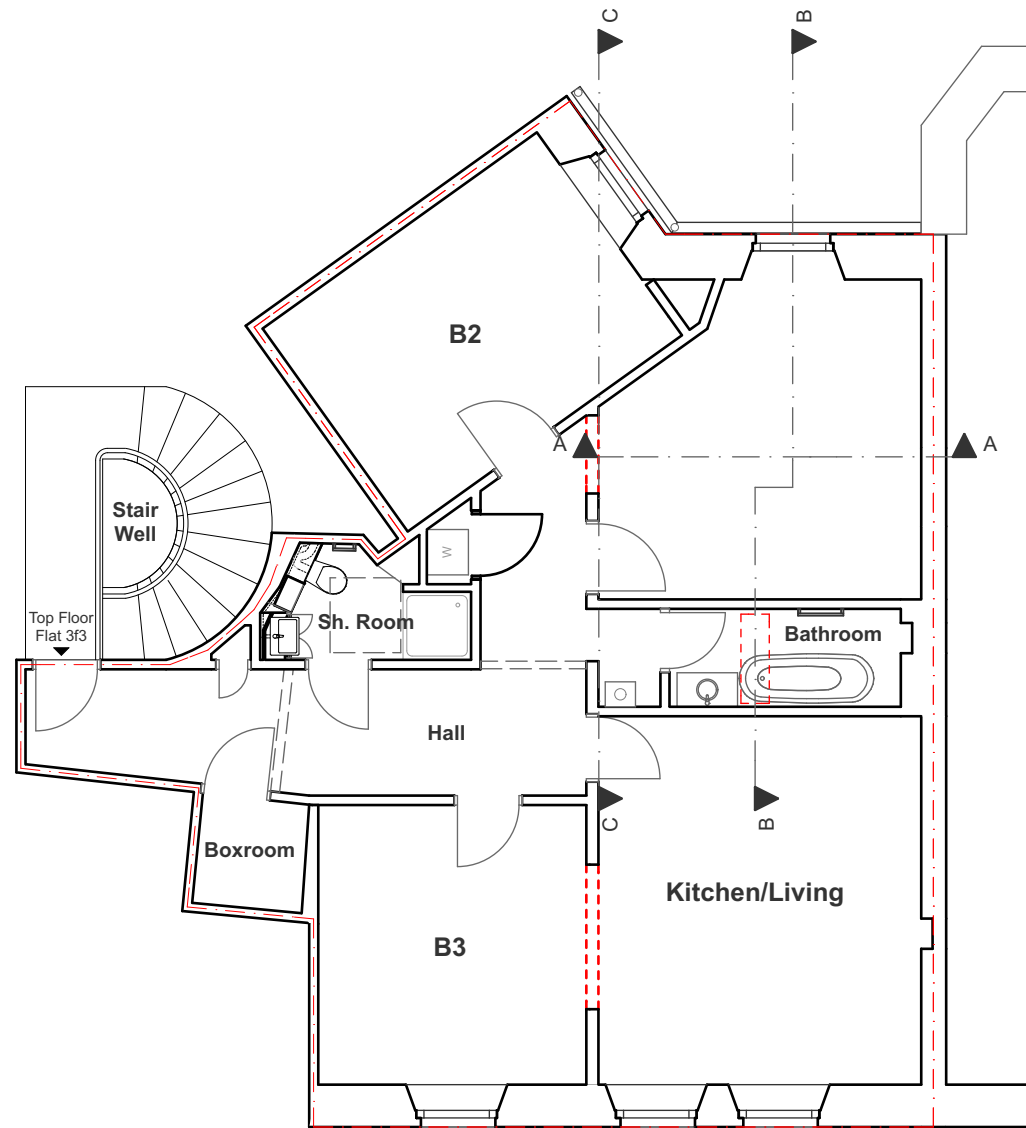


Downtaking West Elevation

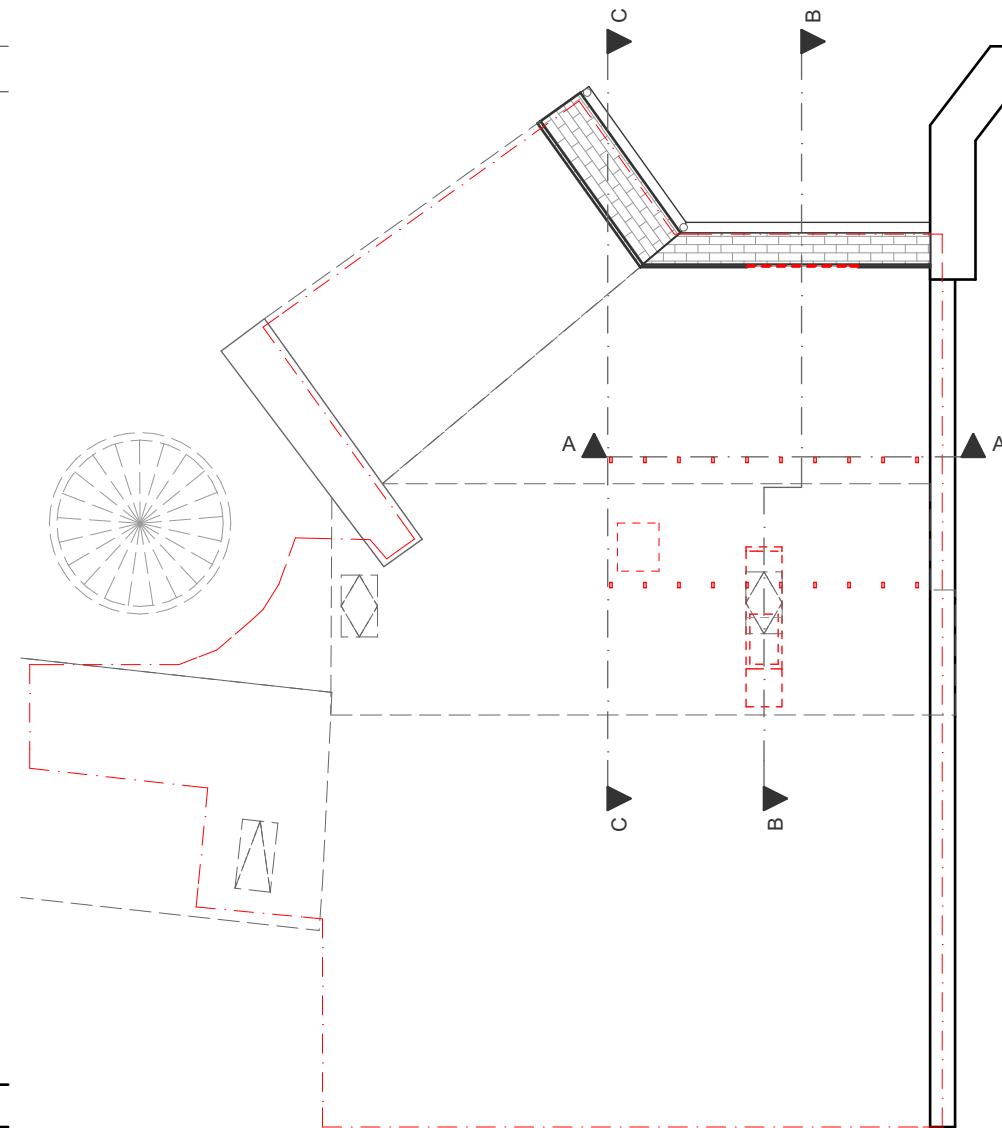


3f3, 2 Barony Street is located within the A listed corner tenement dating from 1827 shown with red line flat 3f3

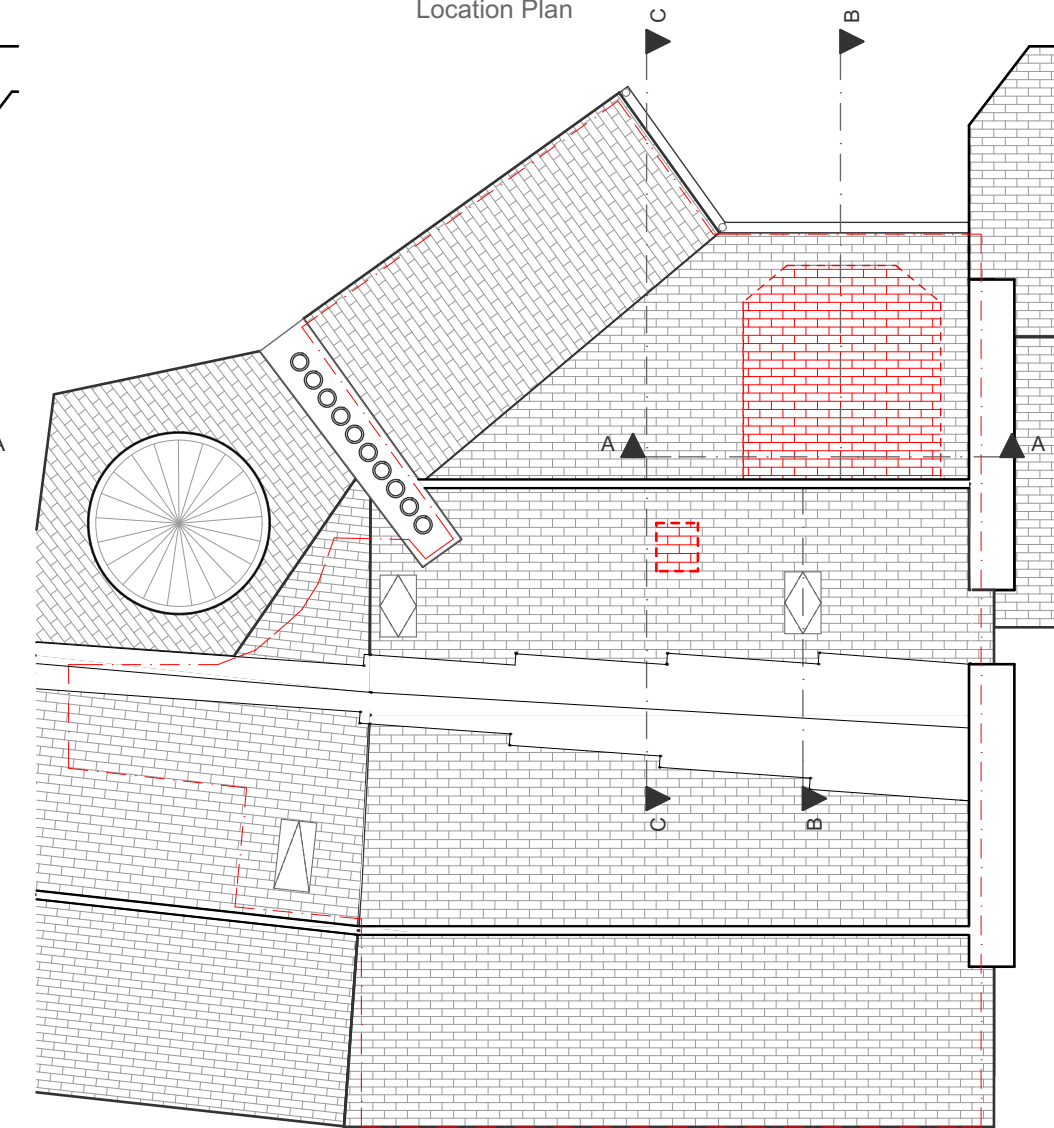
A= Cupolla  
B= Turret



Downtaking Third Floor



Downtaking Attic Floor



Downtaking Roof Plan



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studiodub@mac.com

3f3/2 Barony St  
EH3 6PE

Rebecca Wober

Downtaking drawings  
904.02.1

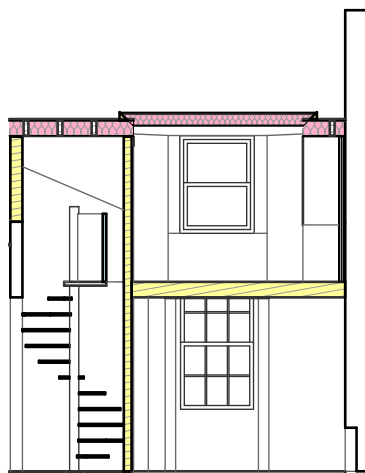
Scale:  
1:1250, 1:100  
Drawing Status:  
Planning

Drawn by: Angela & Remi  
Checked by: Gordon Duffy

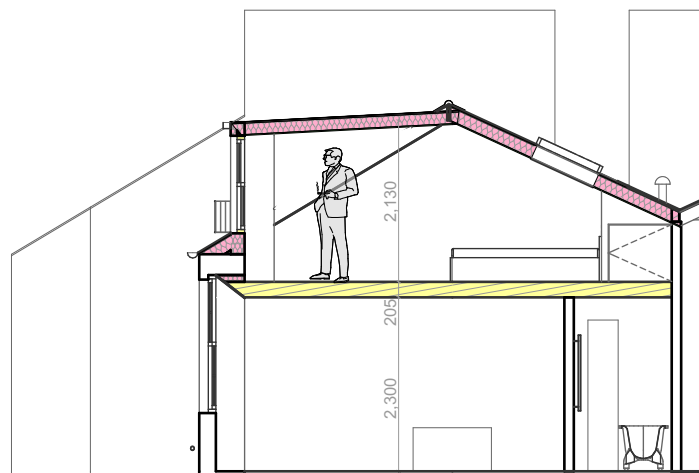
Date: 13/11/2020



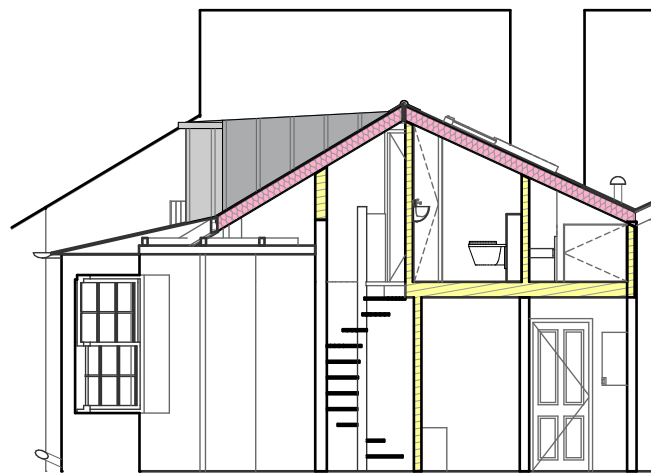
IF THE ABOVE DIMENSION DOES NOT MEASURE THREE CENTIMETERS (3 cm) EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.



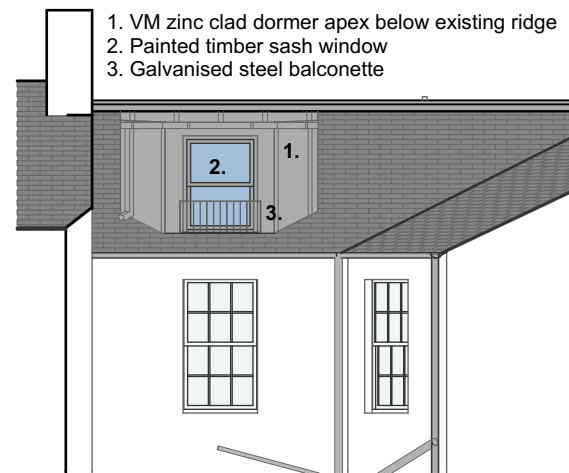
Section A



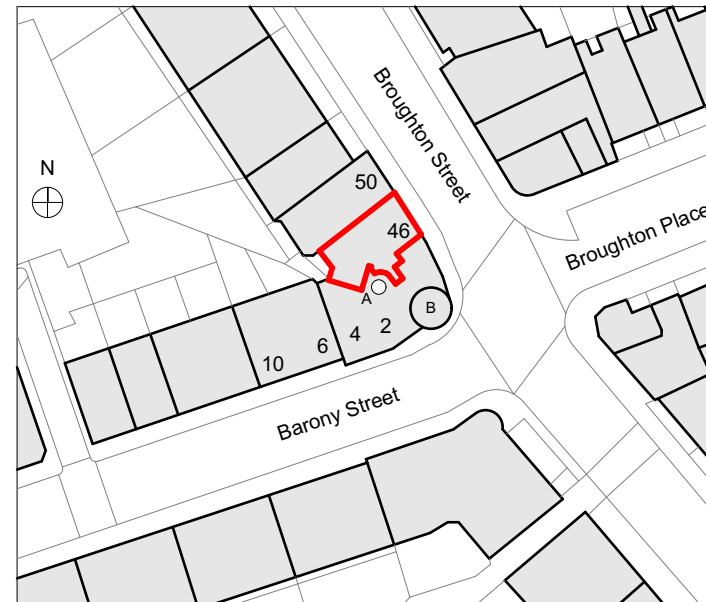
Section B



Section C

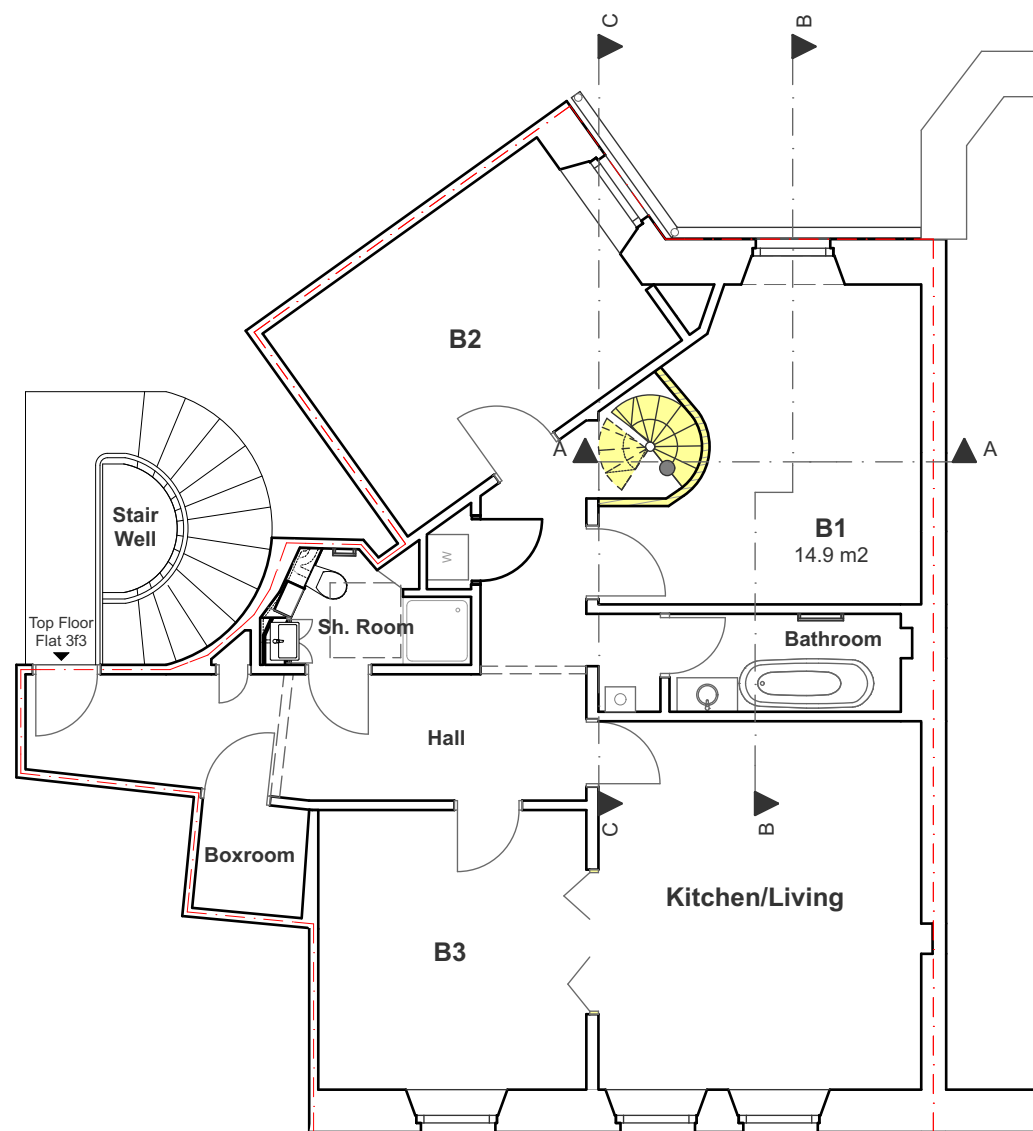


West Elevation

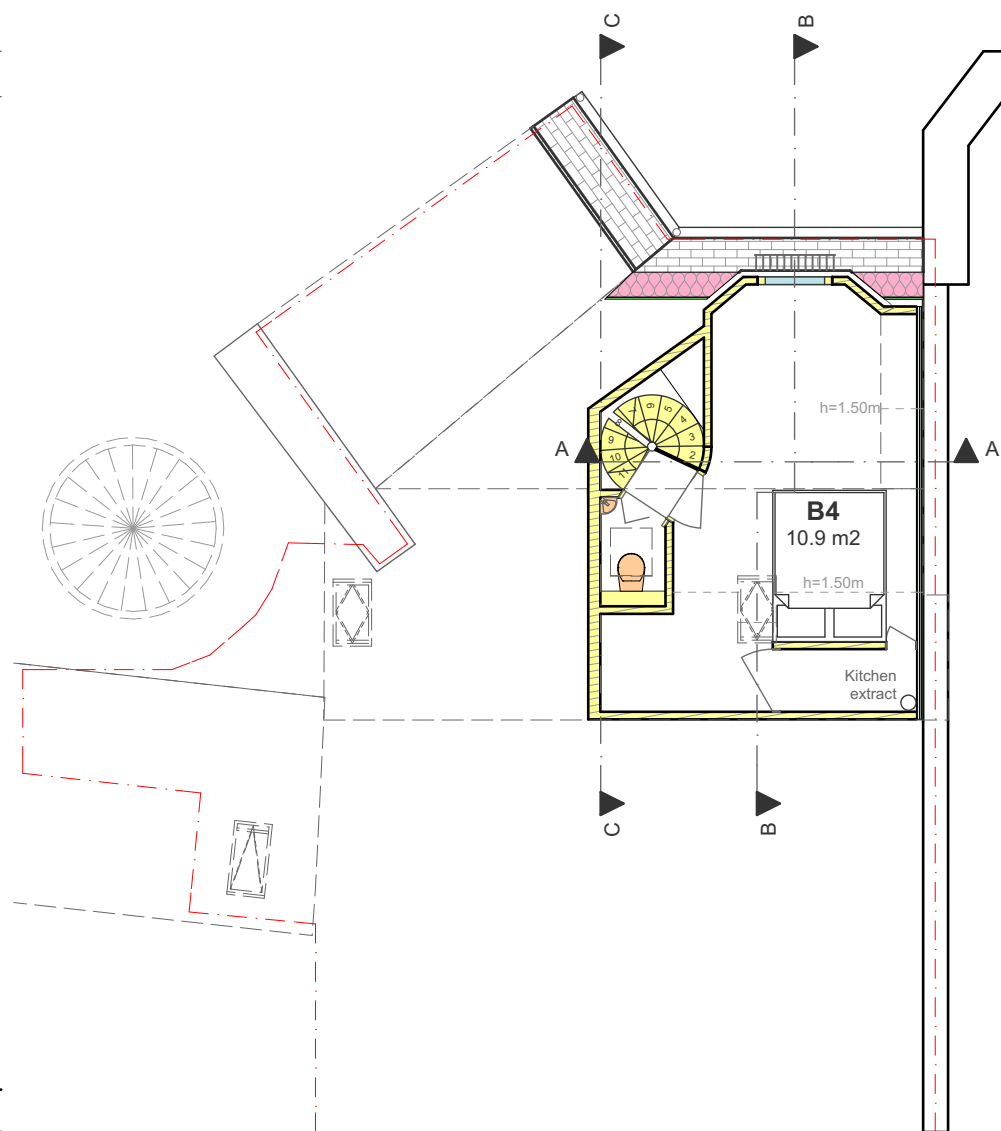


3f3, 2 Barony Street is located within the A listed corner tenement dating from 1827 shown with red line flat 3f3

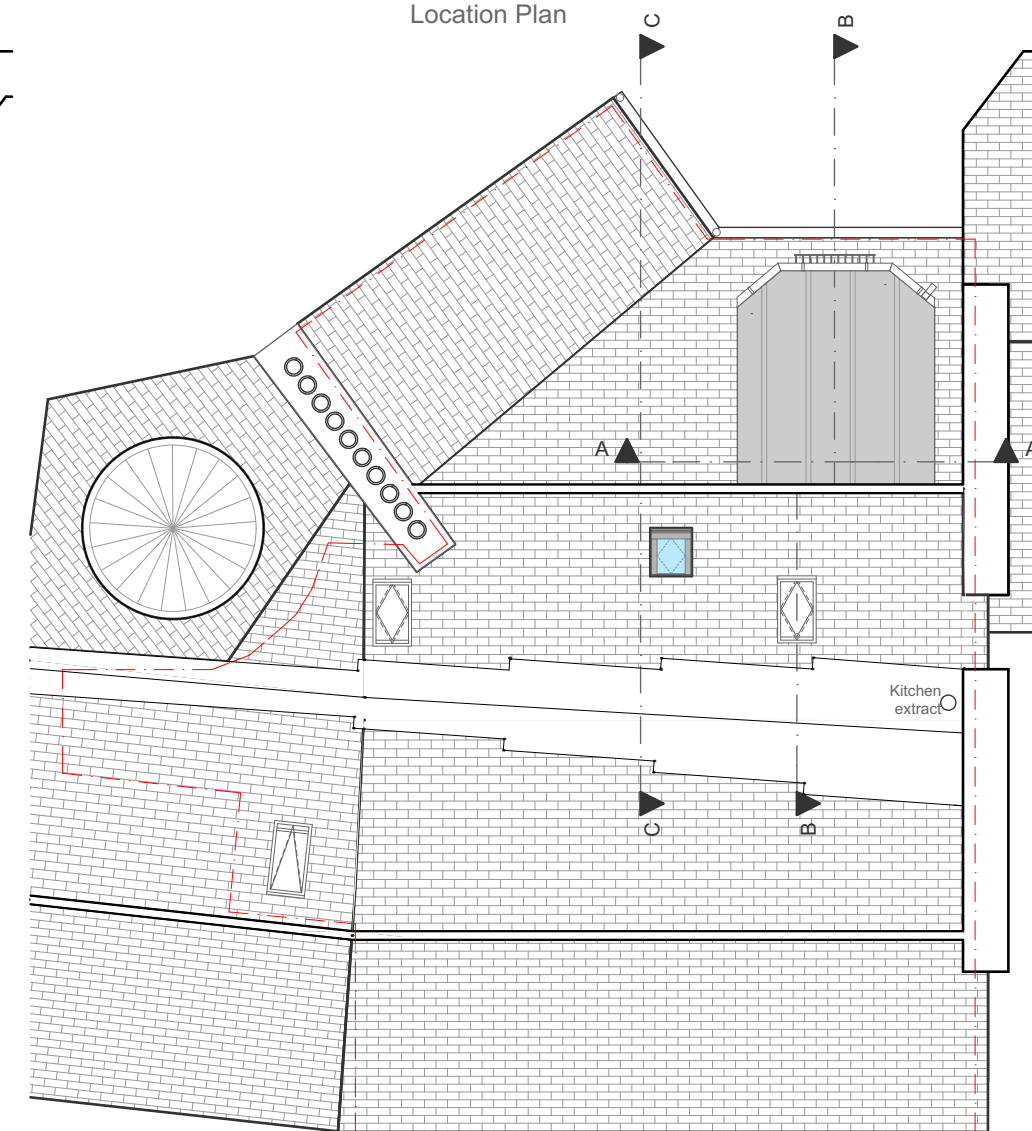
A= Cupolla  
B= Turret



Proposed Third Floor



Proposed Attic



Proposed Roof Plan



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Rebecca Wober

Proposed 2 drawings  
904.05.1

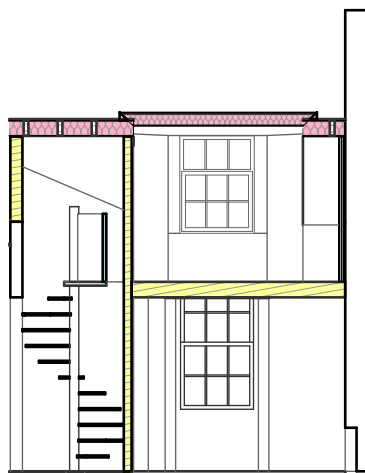
Scale:  
1:100, 1:1250  
Drawing Status:  
Planning

Drawn by: Angela & Remi  
Checked by: Gordon Duffy

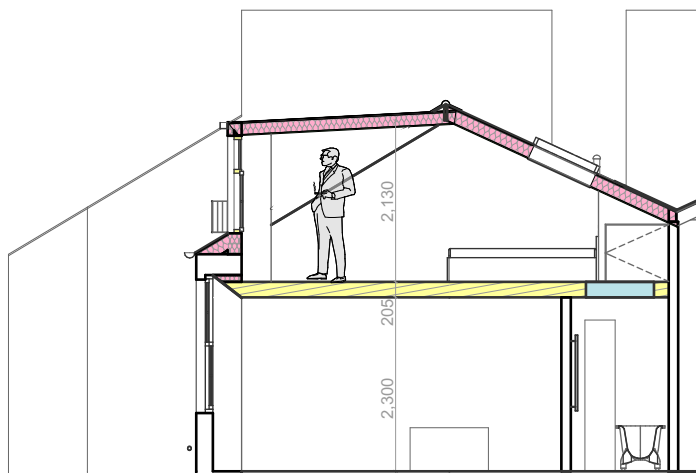
Date: 13/11/2020



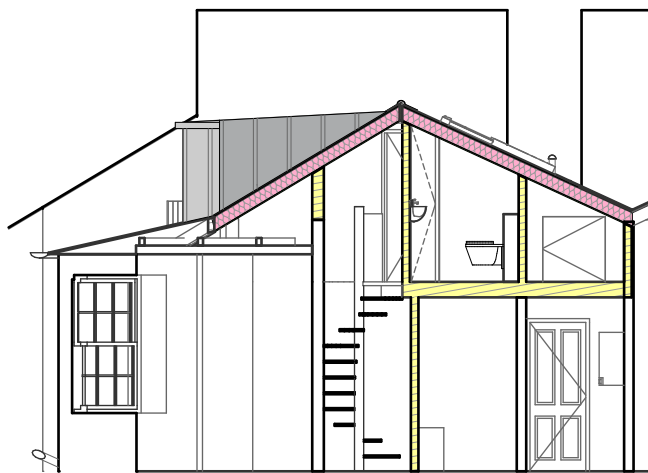
IF THE ABOVE DIMENSION DOES NOT MEASURE THREE CENTIMETERS (3 cm) EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.



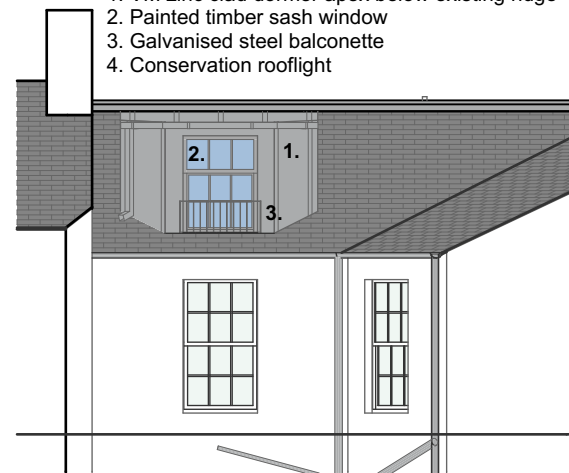
Section A



Section B

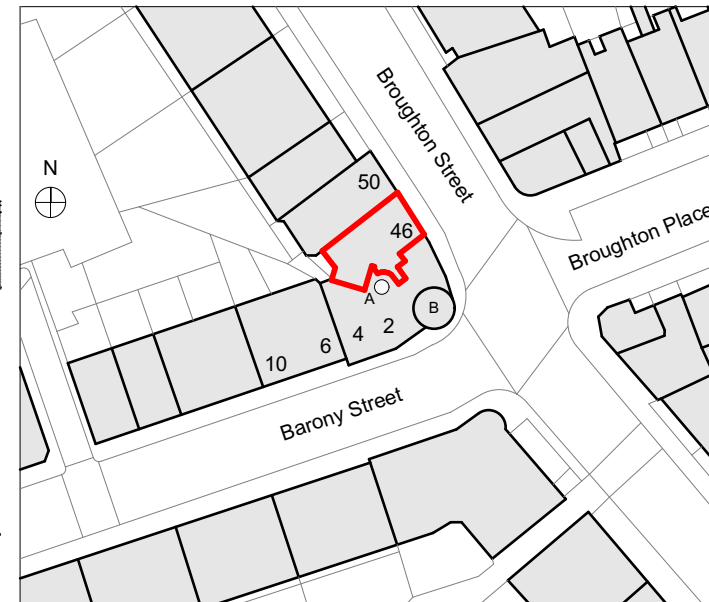


Section C



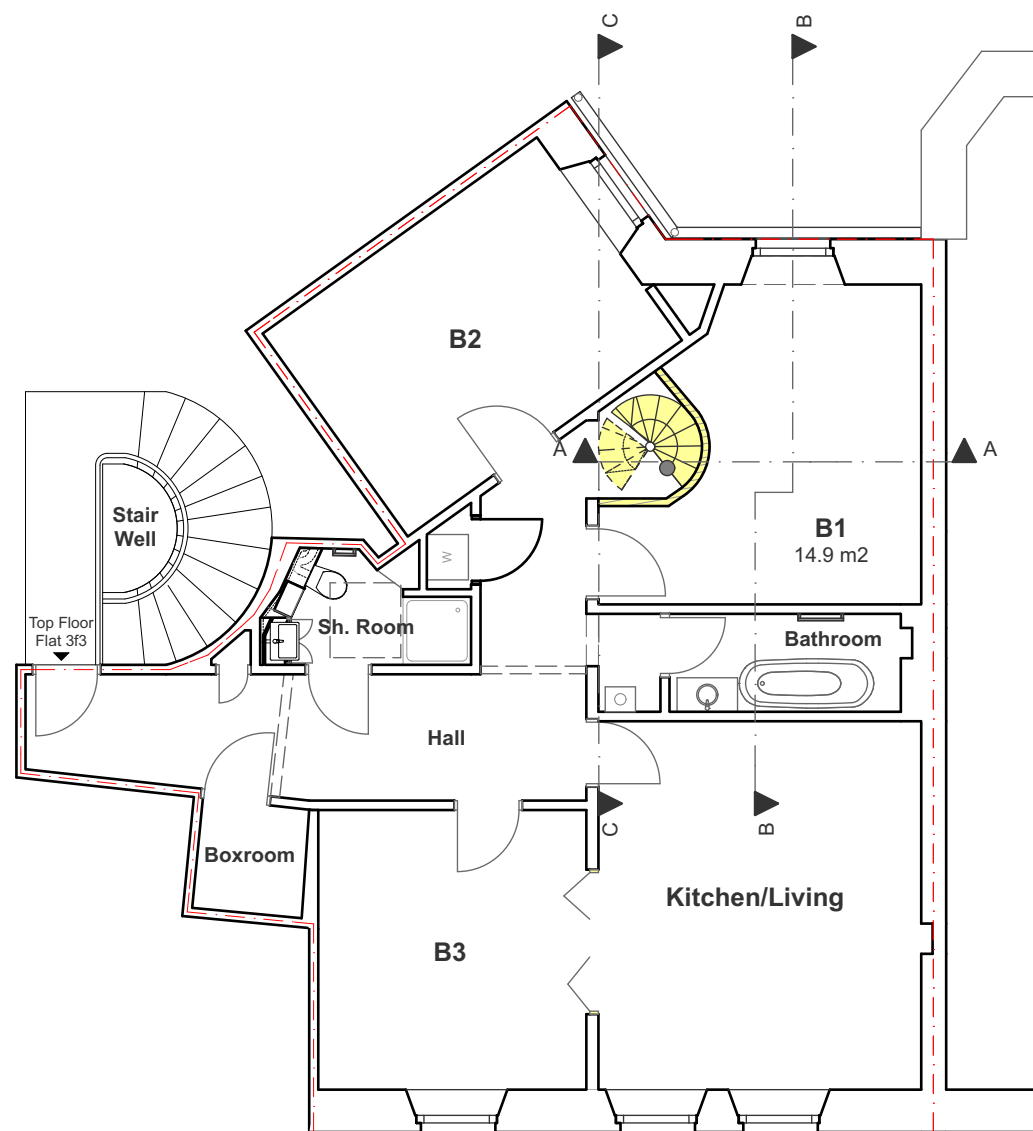
West Elevation

1. VM zinc clad dormer apex below existing ridge
2. Painted timber sash window
3. Galvanised steel balconette
4. Conservation rooflight

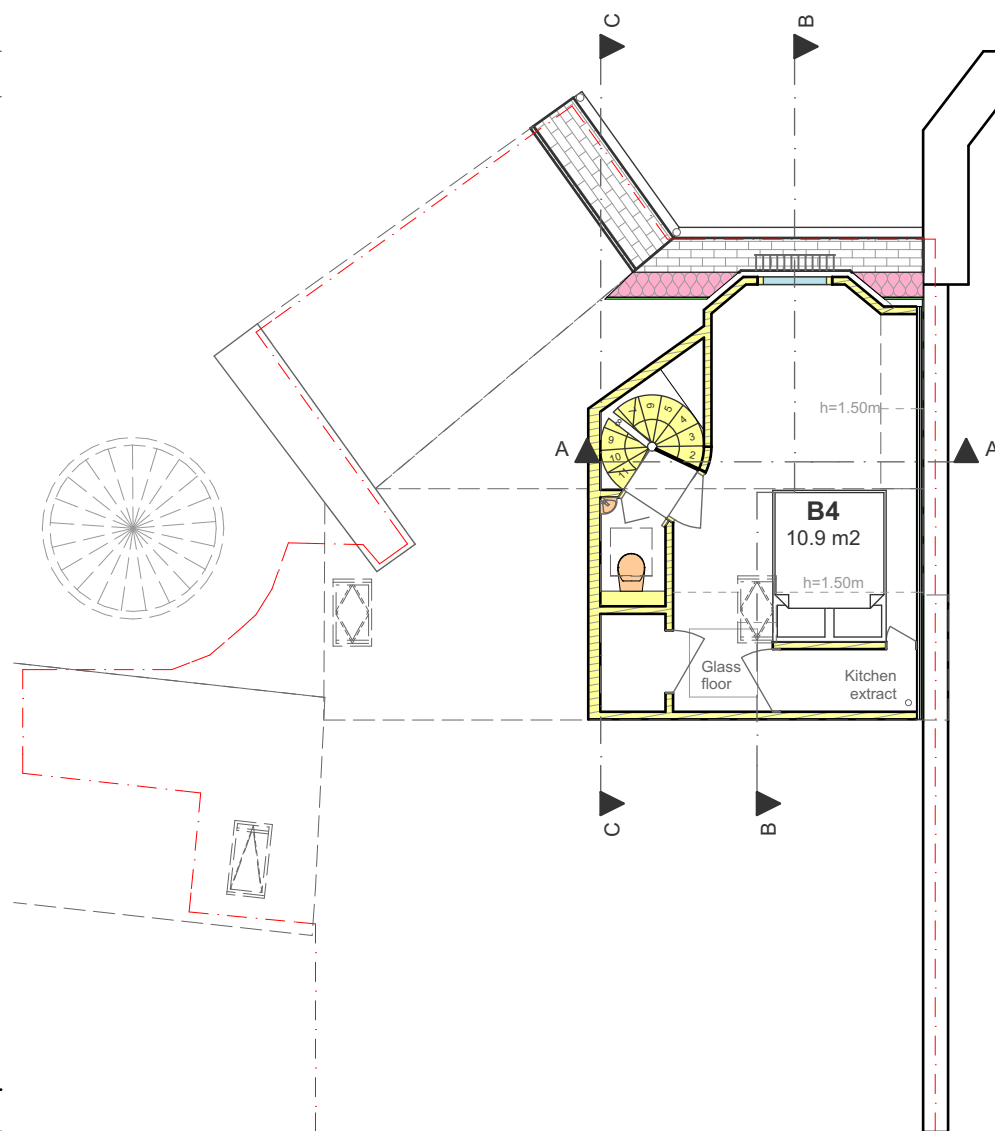


3f3, 2 Barony Street is located within the A listed corner tenement dating from 1827 shown with red line flat 3f3

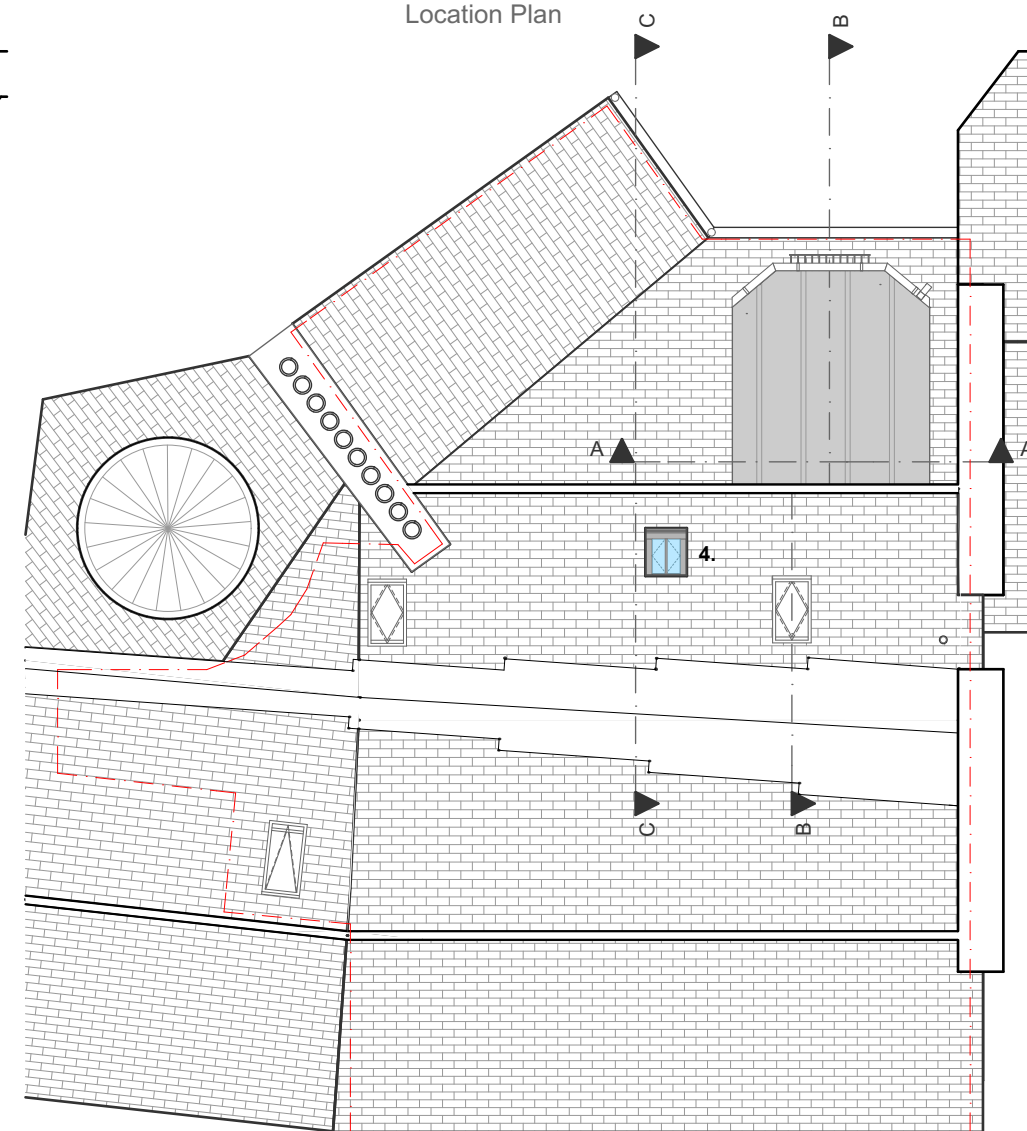
A= Cupolla  
B= Turret



Proposed Third Floor



Proposed Attic



Proposed Roof Plan



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Rebecca Wober

Proposed 2 drawings  
904.05.1

Scale:  
1:100, 1:1250  
Drawing Status:  
Planning

Drawn by: Angela & Remi  
Checked by: Gordon Duffy

Date: 15/12/2020



IF THE ABOVE DIMENSION DOES NOT MEASURE THREE CENTIMETERS (3 cm) EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.



2 Barony Street is located within A listed corner tenement dating from 1827 shown with red line flat 3f3, 2 Barony Street is located approximately above property no. 46 Broughton Street



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Rebecca Wober

Location Plan

904.0

Scale:  
1:500  
Drawing Status:  
Planning

Drawn by: Angela & Remi  
Checked by: Gordon Duffy

Date: 21/03/2019

3 cm ACTUAL  
IF THE ABOVE DIMENSION DOES NOT MEASURE THREE CENTIMETERS (3 cm) EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.