

One Foot Square.
FAO: Craig Proudfoot
129-4 Lindsay Road
Edinburgh
EH6 4UD

Mr Cherry
14 Columba Road
Edinburgh
EH4 3QS

Decision date: 10 August 2021

TOWN AND COUNTRY PLANNING (SCOTLAND) ACTS
DEVELOPMENT MANAGEMENT PROCEDURE (SCOTLAND) REGULATIONS 2013

Proposed pitched roof side and front dormers (material variation from previous consent), alterations to existing property.
At 14 Columba Road Edinburgh EH4 3QS

Application No: 21/02694/FUL

DECISION NOTICE

With reference to your application for Planning Permission registered on 14 May 2021, this has been decided by **Countersign**. The Council in exercise of its powers under the Town and Country Planning (Scotland) Acts and regulations, now determines the application as **Refused** in accordance with the particulars given in the application.

Any condition(s) attached to this consent, with reasons for imposing them, or reasons for refusal, are shown below;

Conditions:-

Reasons:-

1. The proposed side dormer in scale, form and position would fail to respect the established form of the existing bungalow property which would be harmful to its character and appearance. It would be an incompatible and incongruous addition on the street scene detrimental to the existing neighbourhood character. The proposal is therefore contrary to Edinburgh Local Development Plan policy Des 12 (Alterations and Extensions) and the Guidance for Householders.

Please see the guidance notes on our [decision page](#) for further information, including how to appeal or review your decision.

Drawings 01-06, represent the determined scheme. Full details of the application can be found on the [Planning and Building Standards Online Services](#)

The reason why the Council made this decision is as follows:

This determination does not carry with it any necessary consent or approval for the proposed development under other statutory enactments.

Should you have a specific enquiry regarding this decision please contact Lewis McWilliam directly at lewis.mcwilliam@edinburgh.gov.uk.



Chief Planning Officer
PLACE
The City of Edinburgh Council

NOTES

Report of Handling

Application for Planning Permission
14 Columba Road, Edinburgh, EH4 3QS

Proposal: Proposed pitched roof side and front dormers (material variation from previous consent), alterations to existing property.

Item – Countersign
Application Number – 21/02694/FUL
Ward – B05 - Inverleith

Recommendation

It is recommended that this application be **Refused** subject to the details below.

Summary

The proposal is contrary to the Edinburgh Local Development Plan Policy Des 12 - Alterations and Extensions.

The scale, form and position of the proposal would fail to respect the established form of the existing property and would be harmful to its character and appearance. It would be an incompatible and incongruous addition on the street scene detrimental to the existing neighbourhood character.

SECTION A – Application Background

Site Description

The proposal site is a detached bungalow located on the north-east side of Columba Road in a residential area.

Description Of The Proposal

- Proposed front and side dormers
- Alterations to infill front section of the existing single storey side extension.

Permitted Development

- Installation of new window on existing side extension and rooflights on side and rear elevation.

-Removal of the existing front dormer

The above works are permitted development under class 2B of the Town and Country Planning (General Permitted Development) (Scotland) Order 1992 (as amended). No assessment of their merits is therefore required.

Relevant Site History

21/00161/FUL

New front and side dormer windows, alterations to existing side extension (as amended).

Granted

24 March 2021

Consultation Engagement

No Consultations.

Publicity and Public Engagement

Date of Neighbour Notification: 21 May 2021

Date of Advertisement: Not Applicable

Date of Site Notice: Not Applicable

Number of Contributors: 4

Section B - Assessment

Determining Issues

Section 25 of the Town and Country Planning (Scotland) Act 1997 states - Where, in making any determination under the Planning Acts, regard is to be had to the development plan, the determination shall be made in accordance with the plan unless material considerations indicate otherwise.

Do the proposals comply with the development plan?

If the proposals do comply with the development plan, are there any compelling reasons for not approving them?

If the proposals do not comply with the development plan, are there any compelling reasons for approving them?

Assessment

To address these determining issues, it needs to be considered whether:

a) the proposed scale, form and design is acceptable and will not be detrimental to neighbourhood character;

b) the proposal will cause an unreasonable loss to neighbouring amenity;

c) any impacts on equalities or human rights are acceptable; and

d) any comments raised have been addressed.

a) Scale, form, design and neighbourhood character

Edinburgh Local Development Plan (LDP) policy Des 12 (alterations and extensions) states that permission will be granted for alterations and extensions that in design, form, material and position are compatible with the character of the existing building and will not be detrimental to the neighbourhood character.

The Guidance for Householders states, that bungalow extensions should be designed in a way that retains the character of the original property and is subservient in appearance. Extensions must not imbalance the principal elevation of the property.

In regard to dormers, visible expanses should be retained on all four sides of the roofslope. On principle elevations a single dormer should be no greater than one third of the average roof width.

Dormers on side elevations will be considered acceptable where it can be demonstrated that the proposal fits in well with the character of the surrounding area.

The proposed side dormer is of a similar scale, form and position to that originally proposed for planning application 21/00161/FUL. Concern was expressed in respect to this side dormer in terms of its scale, form and position in disrupting the symmetry of the existing hipped roof of the bungalow. This proposal was revised and the scale of the side dormer reduced in height in order to adequately address this aspect of the scheme.

The side dormer raises similar concern to the previous original scheme. In regard to the above guidance, it projects from the ridge of the existing eaves height and its outward projecting width is consistent with the top section of the existing roofslope. It is not set down from the existing property and therefore fails to retain visible roof expanse on all four sides.

In support of the proposals, the applicant has submitted photos of properties near the proposal site. Larger roof additions detailed on Hillhouse Road were constructed in advance of current policy and guidance and do not set precedence for assessment of this application.

Properties detailed on Colomba Road nearby show existing front dormers and roof forms that differ to the proposal site. These examples do evidence change that has occurred to the form of bungalows in the immediate area. Predominantly, alterations to the side of bungalows are set back from the property's frontage and set down from the roof ridge which reduce the level of impact on the balance of the principal elevation and symmetrical hipped roof character of the bungalow. These are aspects of design that the present guidance seeks to protect as detailed above.

The side dormer proposed is inappropriate here as its overall height and width (lack of set down or set back from the existing roofslope) in tandem with its form and location on this side gable is disruptive to the symmetry of the existing hipped roof of the bungalow. As viewed from the street; the property's frontage, it would appear as a

disjointed and incongruous addition that fails to adequately respect the original uniform character.

Side dormers of the scale, form and design proposed are not characteristic of the surrounding area. It is recognised there is some varying forms to bungalow properties evident on the street. This notwithstanding the scale, form and position of this addition would result in a conspicuous and incongruous intervention that fails to respect the established form of this bungalow property type. It is therefore an incompatible addition that would be detrimental to the existing neighbourhood character contrary to LDP policy Des 12 and the non-statutory guidance.

The proposed front dormers are identical to those approved as part of previous planning application 21/00161/FUL. They are of a width that exceeds the above guidance however are set down from the existing roof slope, of a form and centralised position in relation to the existing dwelling that that do not adversely impact on its character or streetscene. Further, alterations to infill the existing side extension are minor in scale and appropriate form therefore are acceptable.

b) Neighbouring amenity

The proposals have been assessed against requirements set out in the non-statutory Guidance for Householders to ensure there is no unreasonable loss to neighbouring amenity with respect to privacy, overshadowing and loss of daylight or sunlight.

The side dormer will face the existing side gable of the adjacent property which is not protected under the guidance in terms of privacy. Windows to this side, will face primarily onto adjacent roof, and therefore will not result in direct overlooking of the neighbour's garden, or a material loss of privacy to neighbouring occupiers.

In regard to neighbouring amenity, the proposals comply with Local Development Plan Policy Des 12 and the non-statutory Guidance for Householders.

c) Equalities and human rights

This application was assessed in terms of equalities and human rights. No impact was identified.

d) Public comments

Four supporting comments have been received summarised as the following;

Material

-Design of pitched dormer more aesthetically pleasing and in keeping with those in area -
Design of proposal addressed in section 3.3 a) of the above report.

Section C - Conditions/Reasons/Informatives

The recommendation is subject to the following;

Reasons

1. The proposed side dormer in scale, form and position would fail to respect the established form of the existing bungalow property which would be harmful to its character and appearance. It would be an incompatible and incongruous addition on the street scene detrimental to the existing neighbourhood character. The proposal is therefore contrary to Edinburgh Local Development Plan policy Des 12 (Alterations and Extensions) and the Guidance for Householders.

Background Reading/External References

To view details of the application go to the [Planning Portal](#)

Further Information - [Local Development Plan](#)

Date Registered: 14 May 2021

Drawing Numbers/Scheme

01-06

Scheme 1

David Givan
Chief Planning Officer
PLACE
The City of Edinburgh Council

Contact: Lewis McWilliam, Planning Officer
E-mail: lewis.mcwilliam@edinburgh.gov.uk

Appendix 1

Consultations

No consultations undertaken.

Comments for Planning Application 21/02694/FUL

Application Summary

Application Number: 21/02694/FUL

Address: 14 Columba Road Edinburgh EH4 3QS

Proposal: Material variation to existing consent. Change flat roof on side dormer window to pitched roof.

Case Officer: Lewis McWilliam

Customer Details

Name: Mr Daniel Harris

Address: 11 Columba Road Edinburgh

Comment Details

Commenter Type: Neighbour

Stance: Customer made comments in support of the Planning Application

Comment Reasons:

Comment: In my view a pitched roof on the side dormer window of our neighbour's house will be aesthetically more pleasing than a flat roof on the side dormer window. There are already a number of pitched roof dormer windows in the area.

Comments for Planning Application 21/02694/FUL

Application Summary

Application Number: 21/02694/FUL

Address: 14 Columba Road Edinburgh EH4 3QS

Proposal: Material variation to existing consent. Change flat roof on side dormer window to pitched roof.

Case Officer: Lewis McWilliam

Customer Details

Name: Miss Olivia Gorrie

Address: 10/2 Murrayfield Avenue Edinburgh

Comment Details

Commenter Type: Member of Public

Stance: Customer made comments in support of the Planning Application

Comment Reasons:

Comment: Having looked at the planning application surely it makes sense to have pitched roof over a flat roof to align with other projects in the area. A pitch roof is also far more aesthetically pleasing.

Comments for Planning Application 21/02694/FUL

Application Summary

Application Number: 21/02694/FUL

Address: 14 Columba Road Edinburgh EH4 3QS

Proposal: Material variation to existing consent. Change flat roof on side dormer window to pitched roof.

Case Officer: Lewis McWilliam

Customer Details

Name: Mr Andrew Peters

Address: 3 Walker Street Edinburgh

Comment Details

Commenter Type: Member of Public

Stance: Customer made comments in support of the Planning Application

Comment Reasons:

Comment: I feel a pitched roof will look far better for onlooking neighbours and passers by, in fact, there are many examples of the pitched roof detail in the area, I hope it is amended as requested

Comments for Planning Application 21/02694/FUL

Application Summary

Application Number: 21/02694/FUL

Address: 14 Columba Road Edinburgh EH4 3QS

Proposal: Material variation to existing consent. Change flat roof on side dormer window to pitched roof.

Case Officer: Lewis McWilliam

Customer Details

Name: Mr Ronald McNab

Address: 15 Columba Road Edinburgh

Comment Details

Commenter Type: Neighbour-Residential

Stance: Customer made comments in support of the Planning Application

Comment Reasons:

Comment: I wish to support the application for pitched roof on dormer. This is more in keeping with the property's main roof and the majority of dormer extensions on Columba road.



Business Centre G.2 Waverley Court 4 East Market Street Edinburgh EH8 8BG Email: planning.support@edinburgh.gov.uk

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100411960-005

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

Applicant or Agent Details

Are you an applicant or an agent? * (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

☐ Applicant ☒ Agent

Agent Details

Please enter Agent details

Company/Organisation:	One Foot Square		
Ref. Number:		You must enter a Building Name or Number, or both: *	
First Name: *	Craig	Building Name:	
Last Name: *	Proudfoot	Building Number:	129-4
Telephone Number: *	07936184056	Address 1 (Street): *	Lindsay Road
Extension Number:		Address 2:	Newhaven
Mobile Number:		Town/City: *	Edinburgh
Fax Number:		Country: *	UK
		Postcode: *	EH6 4UD
Email Address: *	craig@onefootsquare.co.uk		

Is the applicant an individual or an organisation/corporate entity? *

☒ Individual ☐ Organisation/Corporate entity

Applicant Details

Please enter Applicant details

Title:	<input type="text" value="Mr"/>	You must enter a Building Name or Number, or both: *
Other Title:	<input type="text"/>	Building Name: <input type="text"/>
First Name: *	<input type="text" value="Gavin"/>	Building Number: <input type="text" value="14"/>
Last Name: *	<input type="text" value="Cherry"/>	Address 1 (Street): * <input type="text" value="Columba Road"/>
Company/Organisation	<input type="text"/>	Address 2: <input type="text"/>
Telephone Number: *	<input type="text"/>	Town/City: * <input type="text" value="Edinburgh"/>
Extension Number:	<input type="text"/>	Country: * <input type="text" value="Scotland"/>
Mobile Number:	<input type="text"/>	Postcode: * <input type="text" value="EH4 3QS"/>
Fax Number:	<input type="text"/>	
Email Address: *	<input type="text" value="REDACTED"/>	

Site Address Details

Planning Authority:	<input type="text" value="City of Edinburgh Council"/>
Full postal address of the site (including postcode where available):	
Address 1:	<input type="text" value="14 COLUMBA ROAD"/>
Address 2:	<input type="text"/>
Address 3:	<input type="text"/>
Address 4:	<input type="text"/>
Address 5:	<input type="text"/>
Town/City/Settlement:	<input type="text" value="EDINBURGH"/>
Post Code:	<input type="text" value="EH4 3QS"/>

Please identify/describe the location of the site or sites

Northing	<input type="text" value="674644"/>	Easting	<input type="text" value="321782"/>
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Description of Proposal

Please provide a description of your proposal to which your review relates. The description should be the same as given in the application form, or as amended with the agreement of the planning authority: *
(Max 500 characters)

Material Variation to existing consent. Change flat roof on side dormer window to pitched roof.

Type of Application

What type of application did you submit to the planning authority? *

- ☒ Application for planning permission (including householder application but excluding application to work minerals).
- ☐ Application for planning permission in principle.
- ☐ Further application.
- ☐ Application for approval of matters specified in conditions.

What does your review relate to? *

- ☒ Refusal Notice.
- ☐ Grant of permission with Conditions imposed.
- ☐ No decision reached within the prescribed period (two months after validation date or any agreed extension) – deemed refusal.

Statement of reasons for seeking review

You must state in full, why you are seeking a review of the planning authority's decision (or failure to make a decision). Your statement must set out all matters you consider require to be taken into account in determining your review. If necessary this can be provided as a separate document in the 'Supporting Documents' section: * (Max 500 characters)

Note: you are unlikely to have a further opportunity to add to your statement of appeal at a later date, so it is essential that you produce all of the information you want the decision-maker to take into account.

You should not however raise any new matter which was not before the planning authority at the time it decided your application (or at the time expiry of the period of determination), unless you can demonstrate that the new matter could not have been raised before that time or that it not being raised before that time is a consequence of exceptional circumstances.

There are a large number of dormer extensions in the area that express the same form of construction/ architectural language as that of the proposal with the ridge heights matched and the roof planes aligned – a number of these are on the principal elevation. See photographs. It is submitted that the proposals at 14 Columba Road demonstrate a similar mass and scale to that of the surrounding roof extensions and are therefore consistent with the character of the area.

Have you raised any matters which were not before the appointed officer at the time the Determination on your application was made? *

☐ Yes ☒ No

If yes, you should explain in the box below, why you are raising the new matter, why it was not raised with the appointed officer before your application was determined and why you consider it should be considered in your review: * (Max 500 characters)

Please provide a list of all supporting documents, materials and evidence which you wish to submit with your notice of review and intend to rely on in support of your review. You can attach these documents electronically later in the process: * (Max 500 characters)

Supporting Statement, all submitted drawings, Application, Decision Notice, Handling Report

Application Details

Please provide the application reference no. given to you by your planning authority for your previous application.

21/02694/FUL

What date was the application submitted to the planning authority? *

14/05/2021

What date was the decision issued by the planning authority? *

10/08/2021

Review Procedure

The Local Review Body will decide on the procedure to be used to determine your review and may at any time during the review process require that further information or representations be made to enable them to determine the review. Further information may be required by one or a combination of procedures, such as: written submissions; the holding of one or more hearing sessions and/or inspecting the land which is the subject of the review case.

Can this review continue to a conclusion, in your opinion, based on a review of the relevant information provided by yourself and other parties only, without any further procedures? For example, written submission, hearing session, site inspection. *

☒ Yes ☐ No

In the event that the Local Review Body appointed to consider your application decides to inspect the site, in your opinion:

Can the site be clearly seen from a road or public land? *

☒ Yes ☐ No

Is it possible for the site to be accessed safely and without barriers to entry? *

☒ Yes ☐ No

Checklist – Application for Notice of Review

Please complete the following checklist to make sure you have provided all the necessary information in support of your appeal. Failure to submit all this information may result in your appeal being deemed invalid.

Have you provided the name and address of the applicant? *

☒ Yes ☐ No

Have you provided the date and reference number of the application which is the subject of this review? *

☒ Yes ☐ No

If you are the agent, acting on behalf of the applicant, have you provided details of your name and address and indicated whether any notice or correspondence required in connection with the review should be sent to you or the applicant? *

☒ Yes ☐ No ☐ N/A

Have you provided a statement setting out your reasons for requiring a review and by what procedure (or combination of procedures) you wish the review to be conducted? *

☒ Yes ☐ No

Note: You must state, in full, why you are seeking a review on your application. Your statement must set out all matters you consider require to be taken into account in determining your review. You may not have a further opportunity to add to your statement of review at a later date. It is therefore essential that you submit with your notice of review, all necessary information and evidence that you rely on and wish the Local Review Body to consider as part of your review.

Please attach a copy of all documents, material and evidence which you intend to rely on (e.g. plans and Drawings) which are now the subject of this review *

☒ Yes ☐ No

Note: Where the review relates to a further application e.g. renewal of planning permission or modification, variation or removal of a planning condition or where it relates to an application for approval of matters specified in conditions, it is advisable to provide the application reference number, approved plans and decision notice (if any) from the earlier consent.

Declare – Notice of Review

I/We the applicant/agent certify that this is an application for review on the grounds stated.

Declaration Name: Mr Craig Proudfoot

Declaration Date: 08/11/2021

Planning Appeal – Supporting Statement

05 November 2021

Ref. 1095/C03-CEC-CP

14 Columba Road, Edinburgh, EH4 3QS – Appeal for Material Variation from Flat Roof to Pitched Roof on Side Dormer (21/00161/FUL)

NB Side dormer extension already consented with a flat roof.

The proposals seek to vary the existing consent for the side dormer window from a flat roof to a pitched roof – tiled with traditional Double Roman tiles to match the existing main roof.

The property is a detached bungalow within an area predominantly comprising detached bungalows, most of which have converted the roof space and/ or extended the building footprint.

The property is not in the Conservation Area, nor is it a Listed Building.

The material palette has been chosen to reflect the existing aesthetic of the dwelling so that the extension to the roof reads as a compatible and harmonious addition to the character of the property with a cohesive architectural language throughout.

For this scheme to work well and provide a suitable internal space for quality modern living, the ridge of the proposed pitched roof has to align with the ridge of the main roof. This lends itself to a more rationalised form of construction detailing. The proposed dormer has a more deliberate form and doesn't appear to clumsily crash through the main roof unlike the language of traditional dormer construction. If the ridge height of the proposed dormer roof was to be dropped below the ridge height of the main roof, it would significantly reduce the width between the dormer cheeks, giving a much-reduced internal space that wouldn't justify the works to the property. The overall width of the side dormer remains relatively unchanged between the consented scheme and the refused scheme.

There were no neighbour objections to the proposals, though it received four letters of support from neighbours, mainly in favour of the pitched roof over the flat roof.

The profile of the proposed side dormer, as shown on the proposed Front Elevation, is only visible for approximately 15 meters from approach along Columba Road from the West and is partly blocked by a tree. On approach from the East, it can only be glimpsed briefly.

The scale and massing of the street in the immediate vicinity is somewhat unbalanced with the property next door to the East at 12 Columba Road being a two-storey villa.

It is our view that the addition of a flat roof protrusion to the main roof will present an incongruous form of architecture that detracts from the traditional style of pitched tile and slate roofs, prevalent in the immediate and wider roofscape.

The aesthetic form of a tiled pitched roof is more in-keeping with the architectural style of the traditional bungalow and presents a more sympathetic addition to the immediate and surrounding roofscape.

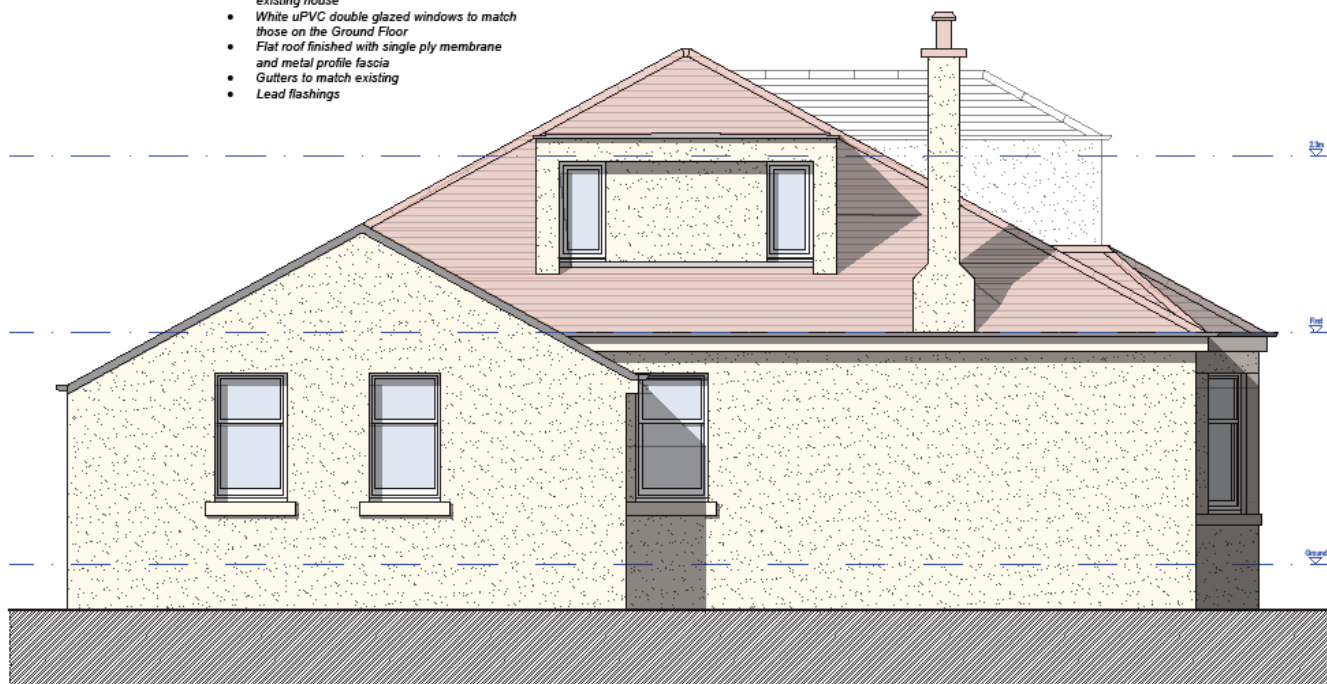
There are a large number of dormer extensions in the area that express the same form of construction/ architectural language as that of the proposal with the ridge heights matched and the roof planes aligned – a number of these are on the principal elevation. See photographs.

It is submitted that the proposals at 14 Columba Road demonstrate a similar mass and scale to that of the surrounding roof extensions and are therefore consistent with the character of the area.

We respectfully request that you consider the above with a view to approving the Planning Application for a Material Variation to change the flat roof of the side dormer to a traditional pitched roof.

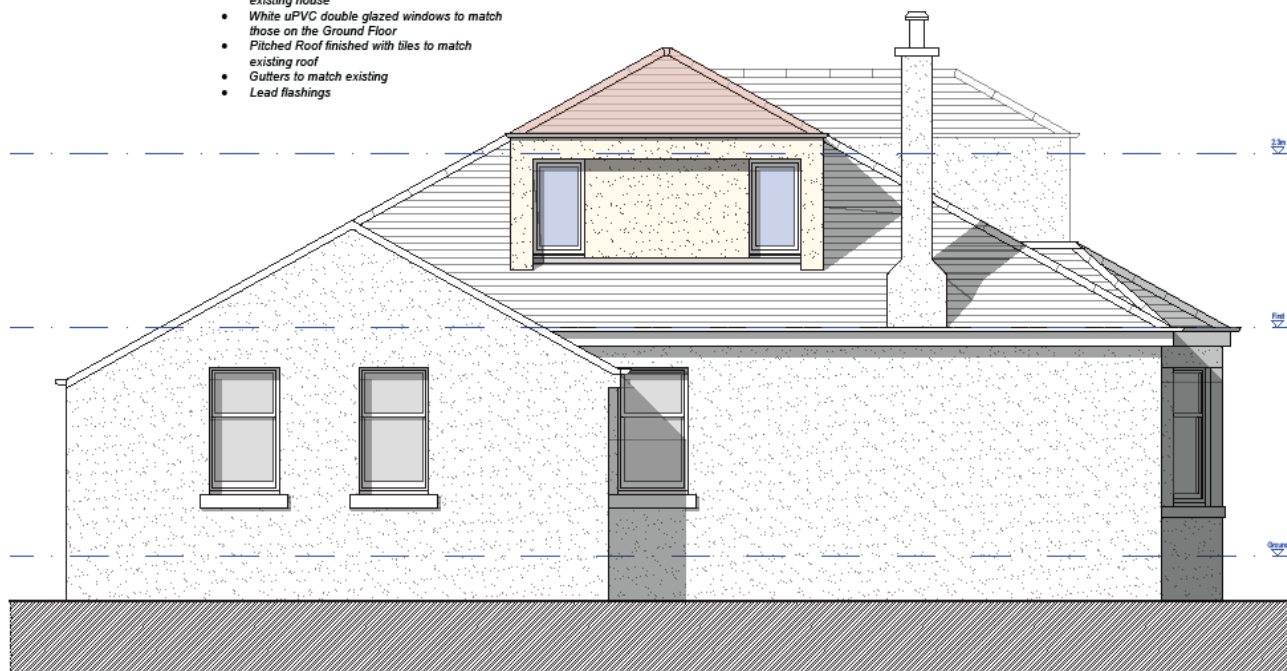
Craig Proudfoot
onefootsquare

- New Side Dormer Window**
- Cheeks and frontage rendered to match existing house
 - White uPVC double glazed windows to match those on the Ground Floor
 - Flat roof finished with single ply membrane and metal profile fascia
 - Gutters to match existing
 - Lead flashings



Consented Side Elevation

- New Side Dormer Window**
- Cheeks and frontage rendered to match existing house
 - White uPVC double glazed windows to match those on the Ground Floor
 - Pitched Roof finished with tiles to match existing roof
 - Gutters to match existing
 - Lead flashings



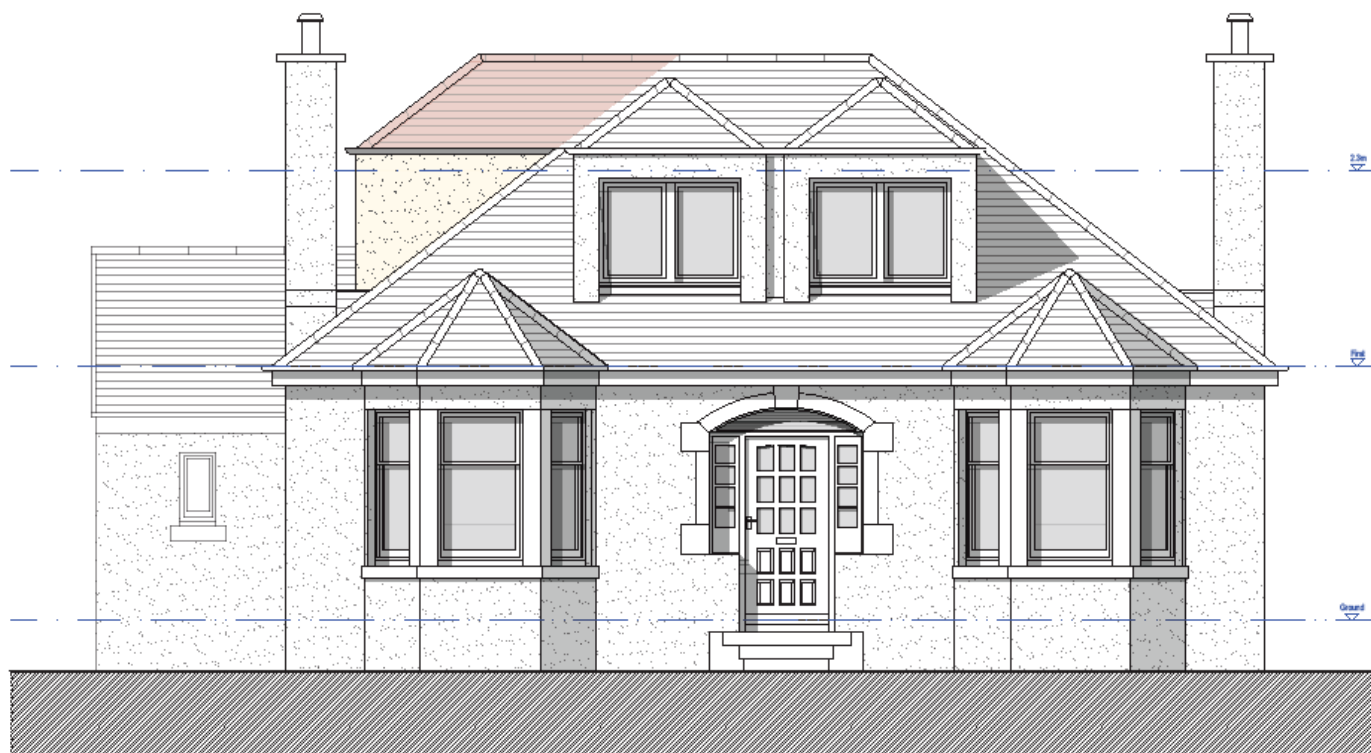
Proposed Side Elevation

New Front Dormer Window

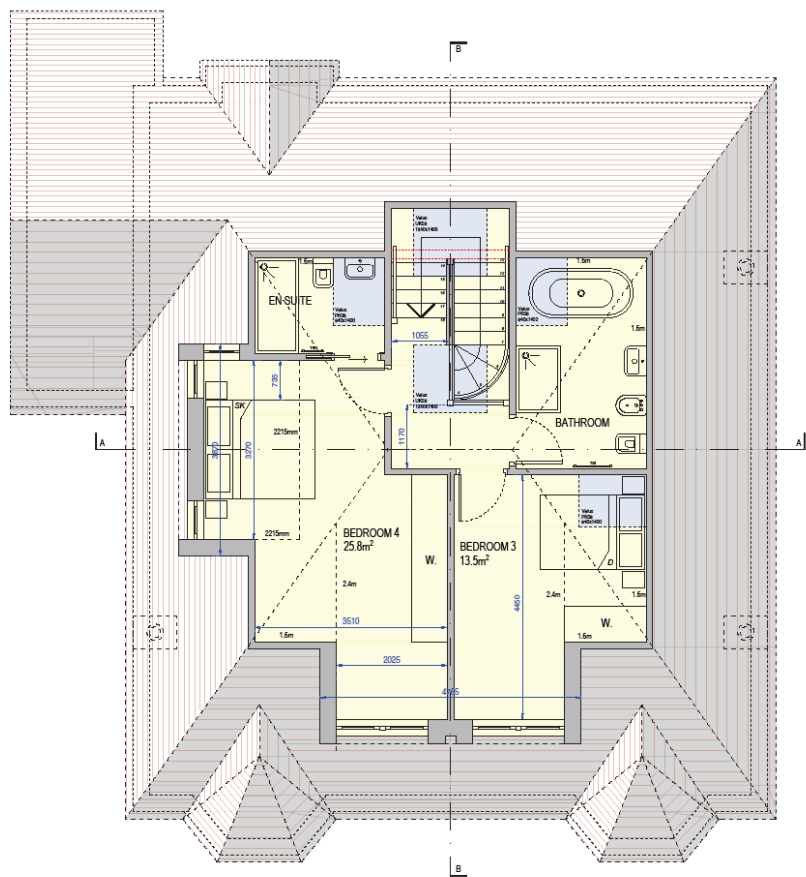
- Cheeks and frontage rendered to match existing house
- White uPVC double glazed windows to match those on the Ground Floor
- Pitched Roof finished with tiles to match existing roof
- Gutters to match existing
- Lead flashings



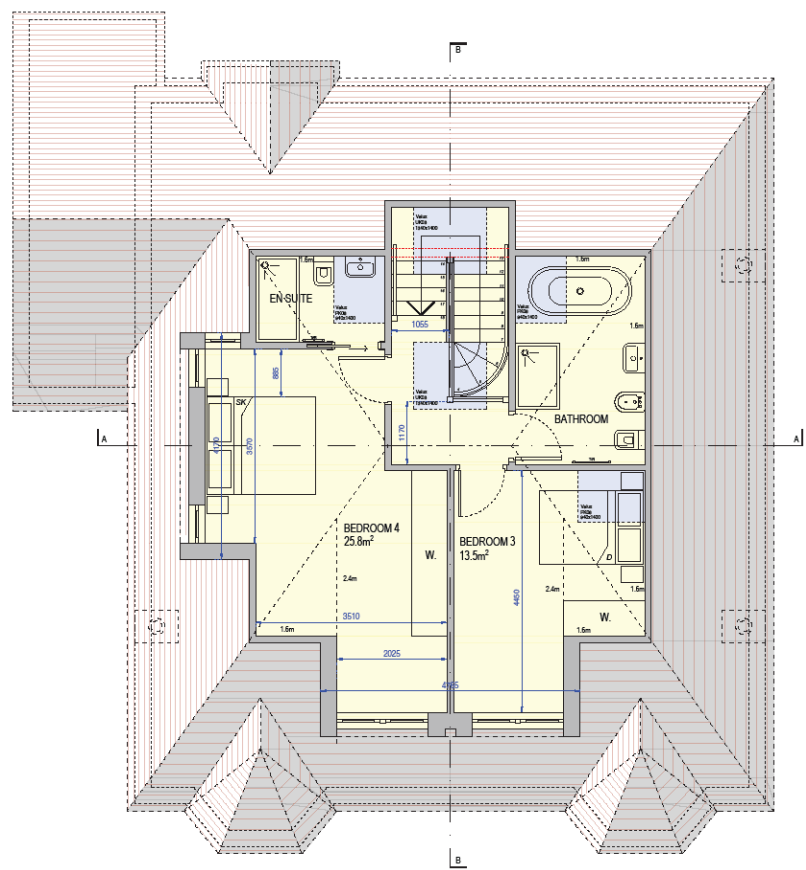
Consented Front Elevation



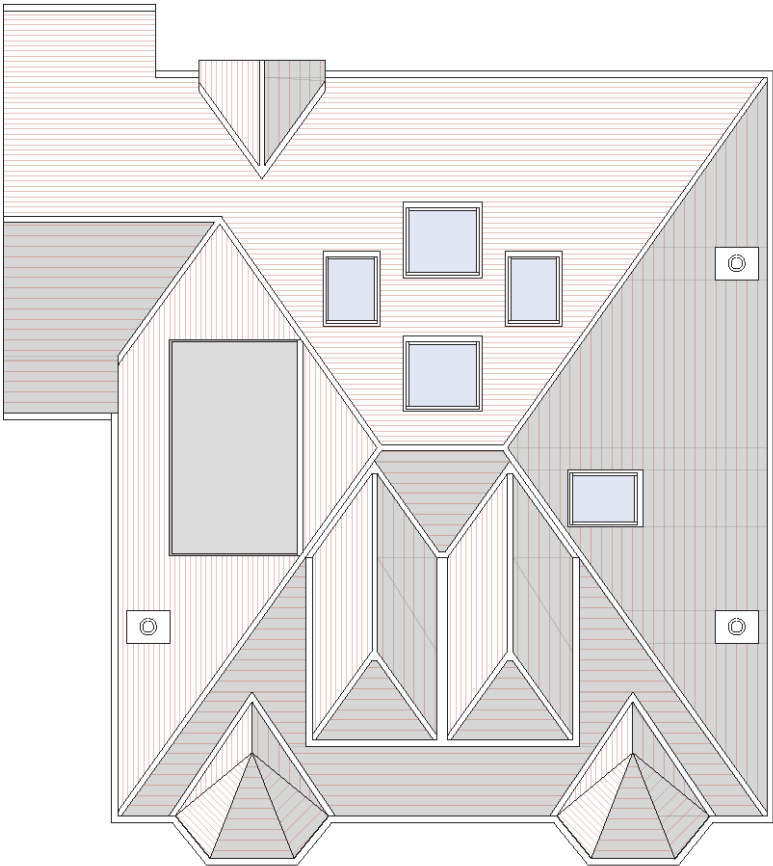
Proposed Front Elevation



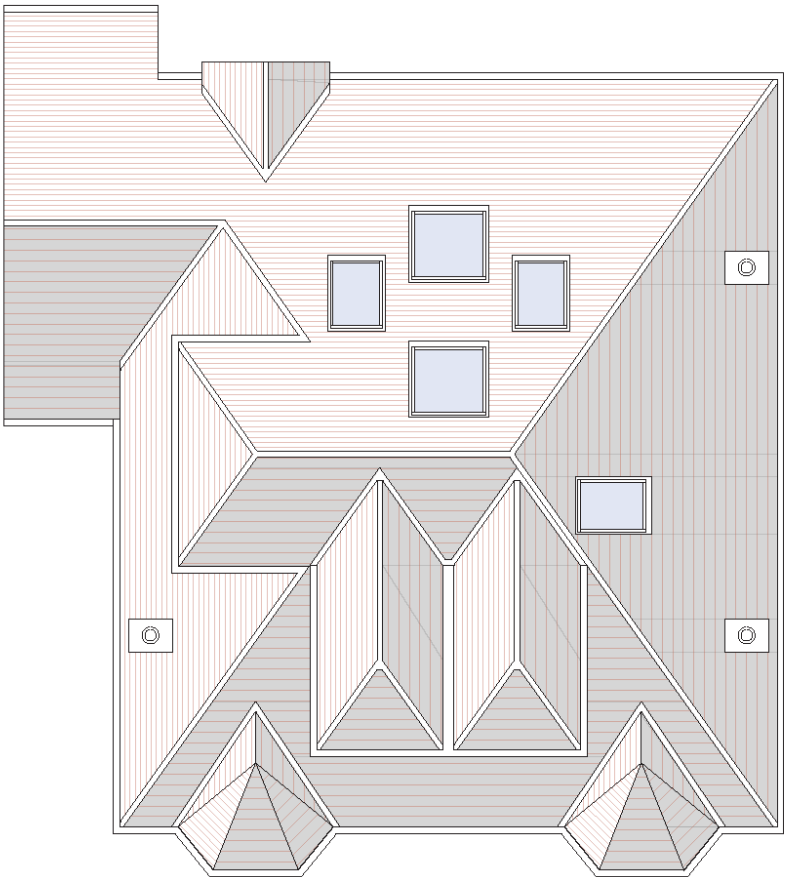
Consented Attic Floor Plan



Proposed Attic Floor Plan



Consented Roof Plan



Proposed Roof Plan

Photographs

The following set of photographs is intended as a snapshot of the immediate neighbouring properties to demonstrate the prevalence of side dormer windows with pitched roofs in the area.

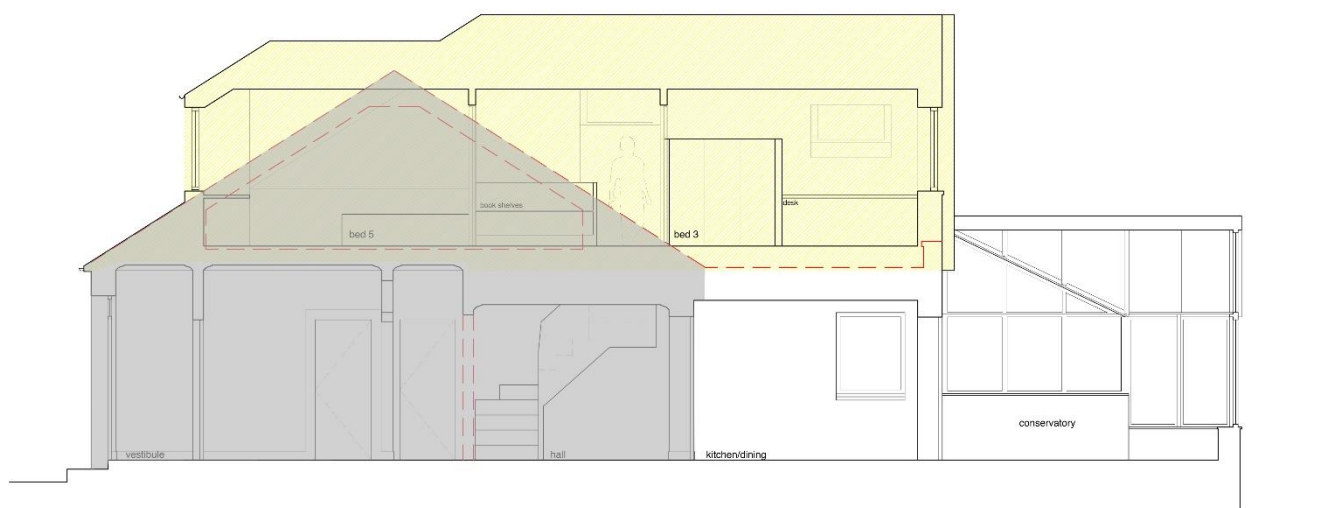


Map of area showing location of photographic examples in proximity to the application property



9 Strachan Road

Recently consented with front elevation dormer ridge at same height as main roof ridge



42 Columba Road

Planning consented in 2021: old roof profile shaded grey and new consented roof profile shown in yellow



14 Columba Road

View towards proposed side elevation for dormer window, approached from the West along Columba road – view partially obscure by tree.



14 Columba Road adjacent to 12 Columba Road (two-storey villa)



12 Columba Road (two-storey villa)



2A Belford Avenue



7 Strachan Road



19a Hillhouse Road – rear of application site



23 Blinkbonny Gardens



Blinkbonny Grove West



Carfrae Gardens



Carfrae Gardens 2



Carfrae Gardens 3



Craigcrook Road



Craigcrook Road 2



Carfrae Gardens 4



Carfrae Road



Queensferry Road 2



4 Columba Avenue



Craigcrook Road 3



Craigcrook Square



March Road



Queensferry Road



19a Hillhouse Road – rear of application site



37 Orchard Road South (Principal Elevation)



3 Hillhouse Road



4 Columba Avenue (Principal Elevation)



9 Columba Road – directly opposite application site



33 Orchard Road South (Principal Elevation)



Business Centre G.2 Waverley Court 4 East Market Street Edinburgh EH8 8BG Email: planning.support@edinburgh.gov.uk

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100411960-001

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

Type of Application

What is this application for? Please select one of the following: *

- ☐ Application for planning permission (including changes of use and surface mineral working).
- ☐ Application for planning permission in principle.
- ☒ Further application, (including renewal of planning permission, modification, variation or removal of a planning condition etc)
- ☐ Application for Approval of Matters specified in conditions.

Please provide the application reference no. given to you by your planning authority for your previous application and the date that this was granted.

Application Reference No: *

21/00161/FUL

Date (dd/mm/yyyy): *

24/03/2021

Description of Proposal

Please describe the proposal including any change of use: * (Max 500 characters)

Material Variation to existing consent. Change flat roof on side dormer window to pitched roof.

Is this a temporary permission? *

☐ Yes ☒ No

If a change of use is to be included in the proposal has it already taken place?

☐ Yes ☒ No

(Answer 'No' if there is no change of use.) *

Has the work already been started and/or completed? *

☒ No ☐ Yes – Started ☐ Yes - Completed

Applicant or Agent Details

Are you an applicant or an agent? * (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

☐ Applicant ☒ Agent

Agent Details

Please enter Agent details

Company/Organisation:	One Foot Square		
Ref. Number:		You must enter a Building Name or Number, or both: *	
First Name: *	Craig	Building Name:	
Last Name: *	Proudfoot	Building Number:	129-4
Telephone Number: *	07936184056	Address 1 (Street): *	Lindsay Road
Extension Number:		Address 2:	Newhaven
Mobile Number:		Town/City: *	Edinburgh
Fax Number:		Country: *	UK
		Postcode: *	EH6 4UD
Email Address: *	craig@onefootsquare.co.uk		

Is the applicant an individual or an organisation/corporate entity? *

☒ Individual ☐ Organisation/Corporate entity

Applicant Details

Please enter Applicant details

Title:	Mr	You must enter a Building Name or Number, or both: *	
Other Title:		Building Name:	
First Name: *	Gavin	Building Number:	14
Last Name: *	Cherry	Address 1 (Street): *	Columba Road
Company/Organisation		Address 2:	
Telephone Number: *		Town/City: *	Edinburgh
Extension Number:		Country: *	Scotland
Mobile Number:		Postcode: *	EH4 3QS
Fax Number:			
Email Address: *			

Site Address Details

Planning Authority:

City of Edinburgh Council

Full postal address of the site (including postcode where available):

Address 1:

14 COLUMBA ROAD

Address 2:

Address 3:

Address 4:

Address 5:

Town/City/Settlement:

EDINBURGH

Post Code:

EH4 3QS

Please identify/describe the location of the site or sites

Northing

674644

Easting

321782

Pre-Application Discussion

Have you discussed your proposal with the planning authority? *

☐ Yes ☒ No

Site Area

Please state the site area:

852.00

Please state the measurement type used:

☐ Hectares (ha) ☒ Square Metres (sq.m)

Existing Use

Please describe the current or most recent use: * (Max 500 characters)

Detached Dwelling House

Access and Parking

Are you proposing a new altered vehicle access to or from a public road? *

☐ Yes ☒ No

If Yes please describe and show on your drawings the position of any existing. Altered or new access points, highlighting the changes you propose to make. You should also show existing footpaths and note if there will be any impact on these.

<p>Are you proposing any change to public paths, public rights of way or affecting any public right of access? * <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes please show on your drawings the position of any affected areas highlighting the changes you propose to make, including arrangements for continuing or alternative public access.</p>	
<p>How many vehicle parking spaces (garaging and open parking) currently exist on the application Site?</p>	<div style="border: 1px solid black; padding: 2px 10px;">3</div>
<p>How many vehicle parking spaces (garaging and open parking) do you propose on the site (i.e. the Total of existing and any new spaces or a reduced number of spaces)? *</p>	<div style="border: 1px solid black; padding: 2px 10px;">3</div>
<p>Please show on your drawings the position of existing and proposed parking spaces and identify if these are for the use of particular types of vehicles (e.g. parking for disabled people, coaches, HGV vehicles, cycles spaces).</p>	
<h2 style="margin: 0;">Water Supply and Drainage Arrangements</h2>	
<p>Will your proposal require new or altered water supply or drainage arrangements? * <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>	
<p>Do your proposals make provision for sustainable drainage of surface water?? * <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (e.g. SUDS arrangements) *</p> <p>Note:-</p> <p>Please include details of SUDS arrangements on your plans</p> <p>Selecting 'No' to the above question means that you could be in breach of Environmental legislation.</p>	
<p>Are you proposing to connect to the public water supply network? *</p> <p><input type="checkbox"/> Yes</p> <p><input type="checkbox"/> No, using a private water supply</p> <p><input checked="" type="checkbox"/> No connection required</p> <p>If No, using a private water supply, please show on plans the supply and all works needed to provide it (on or off site).</p>	
<h2 style="margin: 0;">Assessment of Flood Risk</h2>	
<p>Is the site within an area of known risk of flooding? * <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Don't Know</p> <p>If the site is within an area of known risk of flooding you may need to submit a Flood Risk Assessment before your application can be determined. You may wish to contact your Planning Authority or SEPA for advice on what information may be required.</p> <p>Do you think your proposal may increase the flood risk elsewhere? * <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Don't Know</p>	
<h2 style="margin: 0;">Trees</h2>	
<p>Are there any trees on or adjacent to the application site? * <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes, please mark on your drawings any trees, known protected trees and their canopy spread close to the proposal site and indicate if any are to be cut back or felled.</p>	
<h2 style="margin: 0;">All Types of Non Housing Development – Proposed New Floorspace</h2>	
<p>Does your proposal alter or create non-residential floorspace? * <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>	

Schedule 3 Development

Does the proposal involve a form of development listed in Schedule 3 of the Town and Country Planning (Development Management Procedure (Scotland) Regulations 2013 *

☐ Yes ☒ No ☐ Don't Know

If yes, your proposal will additionally have to be advertised in a newspaper circulating in the area of the development. Your planning authority will do this on your behalf but will charge you a fee. Please check the planning authority's website for advice on the additional fee and add this to your planning fee.

If you are unsure whether your proposal involves a form of development listed in Schedule 3, please check the Help Text and Guidance notes before contacting your planning authority.

Planning Service Employee/Elected Member Interest

Is the applicant, or the applicant's spouse/partner, either a member of staff within the planning service or an elected member of the planning authority? *

☐ Yes ☒ No

Certificates and Notices

CERTIFICATE AND NOTICE UNDER REGULATION 15 – TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (SCOTLAND) REGULATION 2013

One Certificate must be completed and submitted along with the application form. This is most usually Certificate A, Form 1, Certificate B, Certificate C or Certificate E.

Are you/the applicant the sole owner of ALL the land? *

☒ Yes ☐ No

Is any of the land part of an agricultural holding? *

☐ Yes ☒ No

Certificate Required

The following Land Ownership Certificate is required to complete this section of the proposal:

Certificate A

Land Ownership Certificate

Certificate and Notice under Regulation 15 of the Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

Certificate A

I hereby certify that –

(1) - No person other than myself/the applicant was an owner (Any person who, in respect of any part of the land, is the owner or is the lessee under a lease thereof of which not less than 7 years remain unexpired.) of any part of the land to which the application relates at the beginning of the period of 21 days ending with the date of the accompanying application.

(2) - None of the land to which the application relates constitutes or forms part of an agricultural holding

Signed: Craig Proudfoot

On behalf of: Mr Gavin Cherry

Date: 13/05/2021

☒ Please tick here to certify this Certificate. *

Checklist – Application for Planning Permission

Town and Country Planning (Scotland) Act 1997

The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

Please take a few moments to complete the following checklist in order to ensure that you have provided all the necessary information in support of your application. Failure to submit sufficient information with your application may result in your application being deemed invalid. The planning authority will not start processing your application until it is valid.

a) If this is a further application where there is a variation of conditions attached to a previous consent, have you provided a statement to that effect? *

☐ Yes ☐ No ☒ Not applicable to this application

b) If this is an application for planning permission or planning permission in principle where there is a crown interest in the land, have you provided a statement to that effect? *

☐ Yes ☐ No ☒ Not applicable to this application

c) If this is an application for planning permission, planning permission in principle or a further application and the application is for development belonging to the categories of national or major development (other than one under Section 42 of the planning Act), have you provided a Pre-Application Consultation Report? *

☐ Yes ☐ No ☒ Not applicable to this application

Town and Country Planning (Scotland) Act 1997

The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

d) If this is an application for planning permission and the application relates to development belonging to the categories of national or major developments and you do not benefit from exemption under Regulation 13 of The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013, have you provided a Design and Access Statement? *

☐ Yes ☐ No ☒ Not applicable to this application

e) If this is an application for planning permission and relates to development belonging to the category of local developments (subject to regulation 13. (2) and (3) of the Development Management Procedure (Scotland) Regulations 2013) have you provided a Design Statement? *

☐ Yes ☐ No ☒ Not applicable to this application

f) If your application relates to installation of an antenna to be employed in an electronic communication network, have you provided an ICNIRP Declaration? *

☐ Yes ☐ No ☒ Not applicable to this application

g) If this is an application for planning permission, planning permission in principle, an application for approval of matters specified in conditions or an application for mineral development, have you provided any other plans or drawings as necessary:

☒ Site Layout Plan or Block plan.

☒ Elevations.

☒ Floor plans.

☐ Cross sections.

☒ Roof plan.

☐ Master Plan/Framework Plan.

☐ Landscape plan.

☒ Photographs and/or photomontages.

☐ Other.

If Other, please specify: * (Max 500 characters)

Provide copies of the following documents if applicable:

A copy of an Environmental Statement. *

☐ Yes ☒ N/A

A Design Statement or Design and Access Statement. *

☒ Yes ☐ N/A

A Flood Risk Assessment. *

☐ Yes ☒ N/A

A Drainage Impact Assessment (including proposals for Sustainable Drainage Systems). *

☐ Yes ☒ N/A

Drainage/SUDS layout. *

☐ Yes ☒ N/A

A Transport Assessment or Travel Plan

☐ Yes ☒ N/A

Contaminated Land Assessment. *

☐ Yes ☒ N/A

Habitat Survey. *

☐ Yes ☒ N/A

A Processing Agreement. *

☐ Yes ☒ N/A

Other Statements (please specify). (Max 500 characters)

Declare – For Application to Planning Authority

I, the applicant/agent certify that this is an application to the planning authority as described in this form. The accompanying Plans/drawings and additional information are provided as a part of this application.

Declaration Name: Mr Craig Proudfoot

Declaration Date: 13/05/2021

One Foot Square.
FAO: Craig Proudfoot
129-4 Lindsay Road
Edinburgh
EH6 4UD

Mr Cherry
14 Columba Road
Edinburgh
EH4 3QS

Decision date: 10 August 2021

TOWN AND COUNTRY PLANNING (SCOTLAND) ACTS
DEVELOPMENT MANAGEMENT PROCEDURE (SCOTLAND) REGULATIONS 2013

Proposed pitched roof side and front dormers (material variation from previous consent), alterations to existing property.
At 14 Columba Road Edinburgh EH4 3QS

Application No: 21/02694/FUL

DECISION NOTICE

With reference to your application for Planning Permission registered on 14 May 2021, this has been decided by **Countersign**. The Council in exercise of its powers under the Town and Country Planning (Scotland) Acts and regulations, now determines the application as **Refused** in accordance with the particulars given in the application.

Any condition(s) attached to this consent, with reasons for imposing them, or reasons for refusal, are shown below;

Conditions:-

Reasons:-

1. The proposed side dormer in scale, form and position would fail to respect the established form of the existing bungalow property which would be harmful to its character and appearance. It would be an incompatible and incongruous addition on the street scene detrimental to the existing neighbourhood character. The proposal is therefore contrary to Edinburgh Local Development Plan policy Des 12 (Alterations and Extensions) and the Guidance for Householders.

Please see the guidance notes on our [decision page](#) for further information, including how to appeal or review your decision.

Drawings 01-06, represent the determined scheme. Full details of the application can be found on the [Planning and Building Standards Online Services](#)

The reason why the Council made this decision is as follows:

This determination does not carry with it any necessary consent or approval for the proposed development under other statutory enactments.

Should you have a specific enquiry regarding this decision please contact Lewis McWilliam directly at lewis.mcwilliam@edinburgh.gov.uk.



Chief Planning Officer
PLACE
The City of Edinburgh Council

NOTES

Report of Handling

Application for Planning Permission
14 Columba Road, Edinburgh, EH4 3QS

Proposal: Proposed pitched roof side and front dormers (material variation from previous consent), alterations to existing property.

Item – Countersign
Application Number – 21/02694/FUL
Ward – B05 - Inverleith

Recommendation

It is recommended that this application be **Refused** subject to the details below.

Summary

The proposal is contrary to the Edinburgh Local Development Plan Policy Des 12 - Alterations and Extensions.

The scale, form and position of the proposal would fail to respect the established form of the existing property and would be harmful to its character and appearance. It would be an incompatible and incongruous addition on the street scene detrimental to the existing neighbourhood character.

SECTION A – Application Background

Site Description

The proposal site is a detached bungalow located on the north-east side of Columba Road in a residential area.

Description Of The Proposal

- Proposed front and side dormers
- Alterations to infill front section of the existing single storey side extension.

Permitted Development

- Installation of new window on existing side extension and rooflights on side and rear elevation.

-Removal of the existing front dormer

The above works are permitted development under class 2B of the Town and Country Planning (General Permitted Development) (Scotland) Order 1992 (as amended). No assessment of their merits is therefore required.

Relevant Site History

21/00161/FUL

New front and side dormer windows, alterations to existing side extension (as amended).

Granted

24 March 2021

Consultation Engagement

No Consultations.

Publicity and Public Engagement

Date of Neighbour Notification: 21 May 2021

Date of Advertisement: Not Applicable

Date of Site Notice: Not Applicable

Number of Contributors: 4

Section B - Assessment

Determining Issues

Section 25 of the Town and Country Planning (Scotland) Act 1997 states - Where, in making any determination under the Planning Acts, regard is to be had to the development plan, the determination shall be made in accordance with the plan unless material considerations indicate otherwise.

Do the proposals comply with the development plan?

If the proposals do comply with the development plan, are there any compelling reasons for not approving them?

If the proposals do not comply with the development plan, are there any compelling reasons for approving them?

Assessment

To address these determining issues, it needs to be considered whether:

a) the proposed scale, form and design is acceptable and will not be detrimental to neighbourhood character;

b) the proposal will cause an unreasonable loss to neighbouring amenity;

c) any impacts on equalities or human rights are acceptable; and

d) any comments raised have been addressed.

a) Scale, form, design and neighbourhood character

Edinburgh Local Development Plan (LDP) policy Des 12 (alterations and extensions) states that permission will be granted for alterations and extensions that in design, form, material and position are compatible with the character of the existing building and will not be detrimental to the neighbourhood character.

The Guidance for Householders states, that bungalow extensions should be designed in a way that retains the character of the original property and is subservient in appearance. Extensions must not imbalance the principal elevation of the property.

In regard to dormers, visible expanses should be retained on all four sides of the roofslope. On principle elevations a single dormer should be no greater than one third of the average roof width.

Dormers on side elevations will be considered acceptable where it can be demonstrated that the proposal fits in well with the character of the surrounding area.

The proposed side dormer is of a similar scale, form and position to that originally proposed for planning application 21/00161/FUL. Concern was expressed in respect to this side dormer in terms of its scale, form and position in disrupting the symmetry of the existing hipped roof of the bungalow. This proposal was revised and the scale of the side dormer reduced in height in order to adequately address this aspect of the scheme.

The side dormer raises similar concern to the previous original scheme. In regard to the above guidance, it projects from the ridge of the existing eaves height and its outward projecting width is consistent with the top section of the existing roofslope. It is not set down from the existing property and therefore fails to retain visible roof expanse on all four sides.

In support of the proposals, the applicant has submitted photos of properties near the proposal site. Larger roof additions detailed on Hillhouse Road were constructed in advance of current policy and guidance and do not set precedence for assessment of this application.

Properties detailed on Colomba Road nearby show existing front dormers and roof forms that differ to the proposal site. These examples do evidence change that has occurred to the form of bungalows in the immediate area. Predominantly, alterations to the side of bungalows are set back from the property's frontage and set down from the roof ridge which reduce the level of impact on the balance of the principal elevation and symmetrical hipped roof character of the bungalow. These are aspects of design that the present guidance seeks to protect as detailed above.

The side dormer proposed is inappropriate here as its overall height and width (lack of set down or set back from the existing roofslope) in tandem with its form and location on this side gable is disruptive to the symmetry of the existing hipped roof of the bungalow. As viewed from the street; the property's frontage, it would appear as a

disjointed and incongruous addition that fails to adequately respect the original uniform character.

Side dormers of the scale, form and design proposed are not characteristic of the surrounding area. It is recognised there is some varying forms to bungalow properties evident on the street. This notwithstanding the scale, form and position of this addition would result in a conspicuous and incongruous intervention that fails to respect the established form of this bungalow property type. It is therefore an incompatible addition that would be detrimental to the existing neighbourhood character contrary to LDP policy Des 12 and the non-statutory guidance.

The proposed front dormers are identical to those approved as part of previous planning application 21/00161/FUL. They are of a width that exceeds the above guidance however are set down from the existing roof slope, of a form and centralised position in relation to the existing dwelling that that do not adversely impact on its character or streetscene. Further, alterations to infill the existing side extension are minor in scale and appropriate form therefore are acceptable.

b) Neighbouring amenity

The proposals have been assessed against requirements set out in the non-statutory Guidance for Householders to ensure there is no unreasonable loss to neighbouring amenity with respect to privacy, overshadowing and loss of daylight or sunlight.

The side dormer will face the existing side gable of the adjacent property which is not protected under the guidance in terms of privacy. Windows to this side, will face primarily onto adjacent roof, and therefore will not result in direct overlooking of the neighbour's garden, or a material loss of privacy to neighbouring occupiers.

In regard to neighbouring amenity, the proposals comply with Local Development Plan Policy Des 12 and the non-statutory Guidance for Householders.

c) Equalities and human rights

This application was assessed in terms of equalities and human rights. No impact was identified.

d) Public comments

Four supporting comments have been received summarised as the following;

Material

-Design of pitched dormer more aesthetically pleasing and in keeping with those in area -
Design of proposal addressed in section 3.3 a) of the above report.

Section C - Conditions/Reasons/Informatives

The recommendation is subject to the following;

Reasons

1. The proposed side dormer in scale, form and position would fail to respect the established form of the existing bungalow property which would be harmful to its character and appearance. It would be an incompatible and incongruous addition on the street scene detrimental to the existing neighbourhood character. The proposal is therefore contrary to Edinburgh Local Development Plan policy Des 12 (Alterations and Extensions) and the Guidance for Householders.

Background Reading/External References

To view details of the application go to the [Planning Portal](#)

Further Information - [Local Development Plan](#)

Date Registered: 14 May 2021

Drawing Numbers/Scheme

01-06

Scheme 1

David Givan
Chief Planning Officer
PLACE
The City of Edinburgh Council

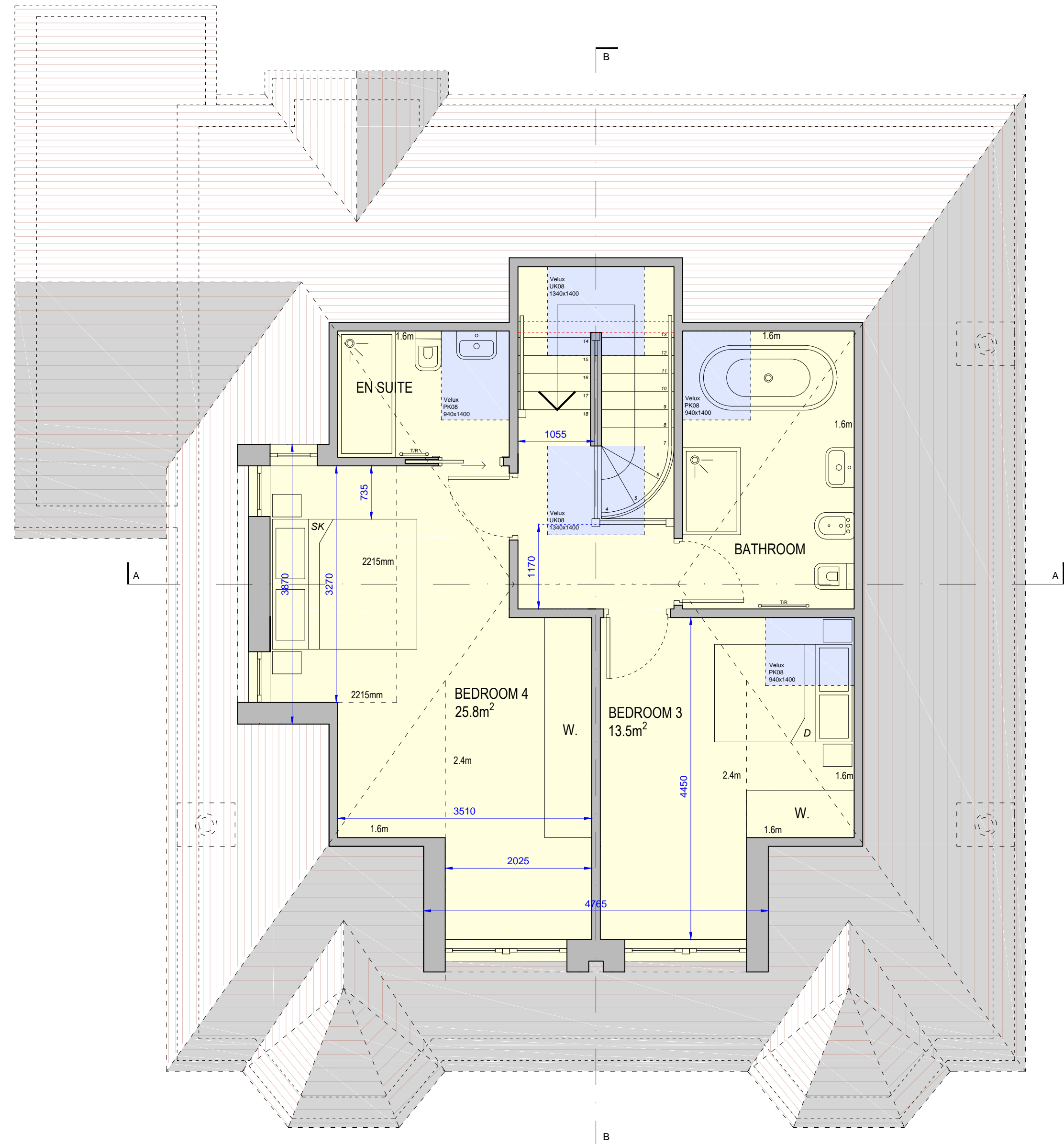
Contact: Lewis McWilliam, Planning Officer
E-mail: lewis.mcwilliam@edinburgh.gov.uk

Appendix 1

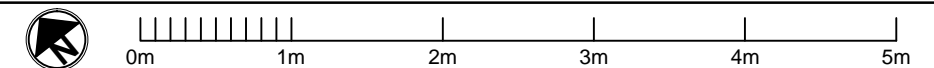
Consultations


No consultations undertaken.

CONSENTED



CONSENTED ATTIC FLOOR PLAN
1:50 @ A2



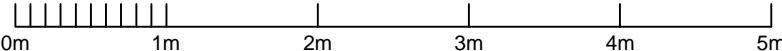
Drawing CONSENTED ATTIC FLOOR PLAN			Client Mr and Mrs Cherry		THIS DRAWING IS FOR PLANNING PURPOSES ONLY. ALL LEVELS & DIMENSIONS TO BE CHECKED ON SITE PRIOR TO CONSTRUCTION/ FABRICATION AND ANY DISCREPANCIES IMMEDIATELY REPORTED © 2021 ONE FOOT SQUARE			 onefootsquare archiTeCture&dEsign www.onefootsquare.co.uk	
Scale 1:50 @ A2	Date 04 JAN 2021	By CP	Project 14 Columba Road Edinburgh EH4 3QS	REV A B	DATE 04/03/21 17/03/21	NOTES Dormer sizes reduced & moved off of ridge/ hip line. Front dormer roof divided into 2 pitched roofs matching language/ scale of property opposite. Side dormer changed to flat roof with modified framing to frontage			Craig Proudfoot 3/9 Trinity Crescent Edinburgh, EH5 3ED 07936 184056 craig@onefootsquare.co.uk
Job No. 1095-COL	Drawing No. (P)005	Rev. B							

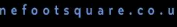
New Front Dormer Window

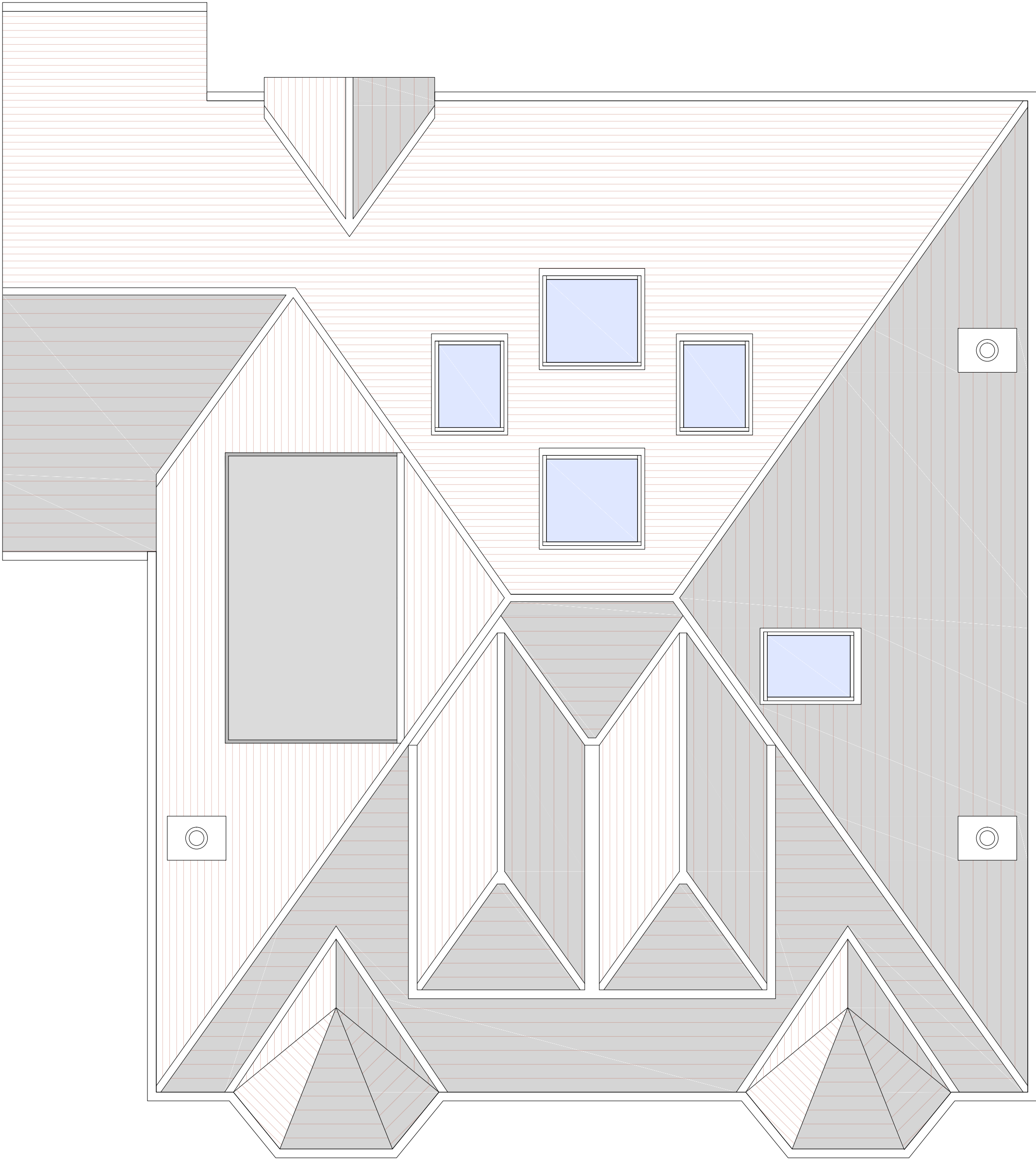
- Cheeks and frontage rendered to match existing house
- White uPVC double glazed windows to match those on the Ground Floor
- Pitched Roof finished with tiles to match existing roof
- Gutters to match existing
- Lead flashings



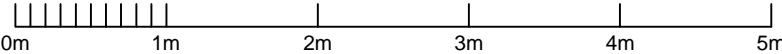
CONSENTED FRONT ELEVATION
 1:50 @ A2



Drawing CONSENTED FRONT ELEVATION			Client Mr and Mrs Cherry		THIS DRAWING IS FOR PLANNING PURPOSES ONLY. ALL LEVELS & DIMENSIONS TO BE CHECKED ON SITE PRIOR TO CONSTRUCTION/ FABRICATION AND ANY DISCREPANCIES IMMEDIATELY REPORTED © 2021 ONE FOOT SQUARE			<div>onefootsquare</div> <div>Craig Proudfoot 3/9 Trinity Crescent Edinburgh, EH5 3ED 07936 184056 craig@onefootsquare.co.uk</div>		<div>onefootsquare</div> <div>archiTecture&dEsign www.onefootsquare.co.uk</div> <div></div>	
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Job No. 1095-COL	Drawing No. (P)007	Rev. D		B	03/02/21	Minor illustrative alteration					
				C	04/03/21	Dormer sizes reduced & moved off of ridge/ hip line. Front dormer roof divided into 2 pitched roofs matching language/ scale of property opposite.					
				D	17/03/21	Side dormer changed to flat roof with modified framing to frontage					



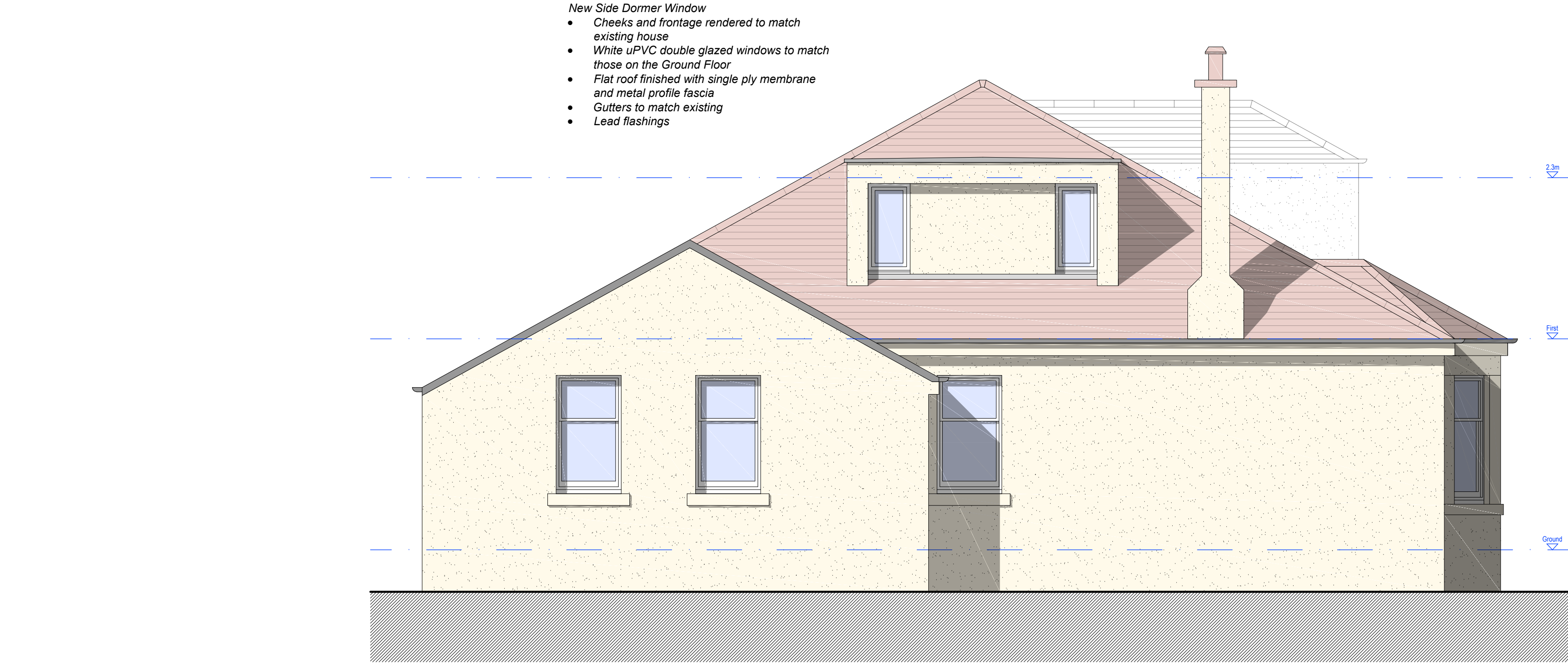
CONSENTED ROOF PLAN
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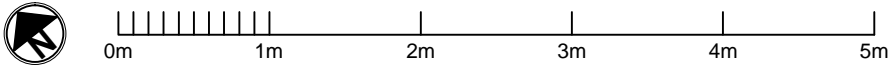
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Scale 1:50 @ A2	Date 04 JAN 2021	By CP	Project 14 Columba Road Edinburgh EH4 3QS		REV A	DATE 17/03/21	NOTES Side dormer changed to flat roof with modified framing to frontage
Job No. 1095-COL	Drawing No. (P)009	Rev. A					

onefootsquare
 Craig Proudfoot
 3/9 Trinity Crescent
 Edinburgh, EH5 3ED
 07936 184056
craig@onefootsquare.co.uk

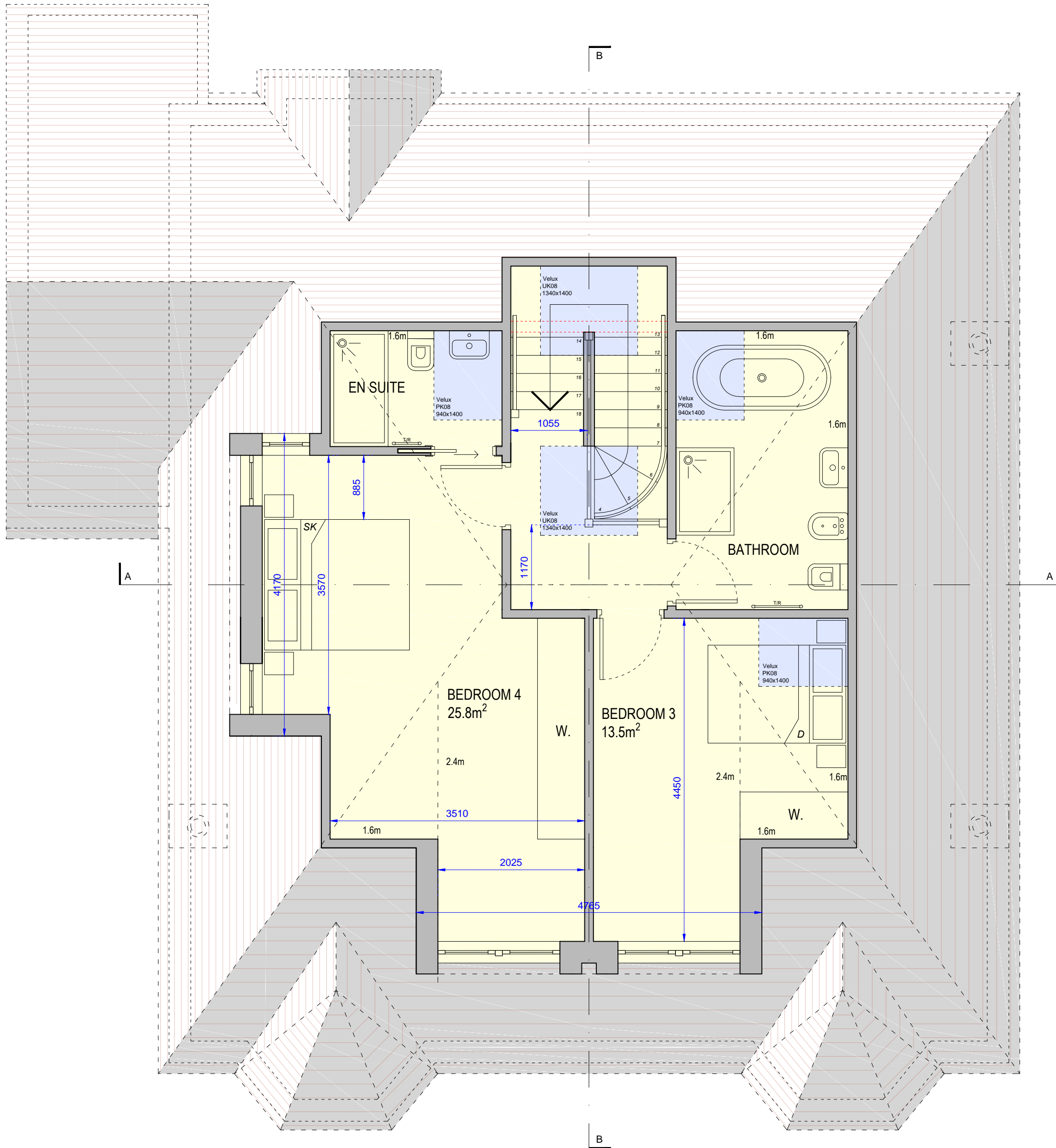
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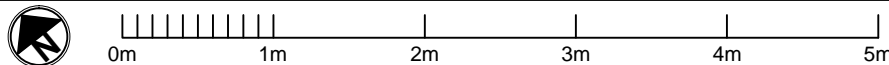
CONSENTED SIDE ELEVATION
 1:50 @ A2



Drawing CONSENTED SIDE ELEVATION			Client Mr and Mrs Cherry		THIS DRAWING IS FOR PLANNING PURPOSES ONLY. ALL LEVELS & DIMENSIONS TO BE CHECKED ON SITE PRIOR TO CONSTRUCTION/ FABRICATION AND ANY DISCREPANCIES IMMEDIATELY REPORTED © 2021 ONE FOOT SQUARE			<div>onefootsquare</div> <div>Craig Proudfoot 3/9 Trinity Crescent Edinburgh, EH5 3ED 07936 184056 craig@onefootsquare.co.uk</div>		<div>onefootsquare</div> <div>archiTecture&dEsigh www.onefootsquare.co.uk</div> <div></div>	
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Job No. 1095-COL	Drawing No. (P)008	Rev. C		A	03/02/21	Minor amendment to existing side extension					
				B	04/03/21	Dormer sizes reduced & moved off of ridge/ hip line. Front dormer roof divided into 2 pitched roofs matching language/ scale of property opposite.					
			C	17/03/21	Side dormer changed to flat roof with modified framing to frontage						



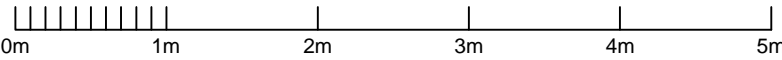
PROPOSED ATTIC FLOOR PLAN
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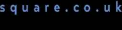


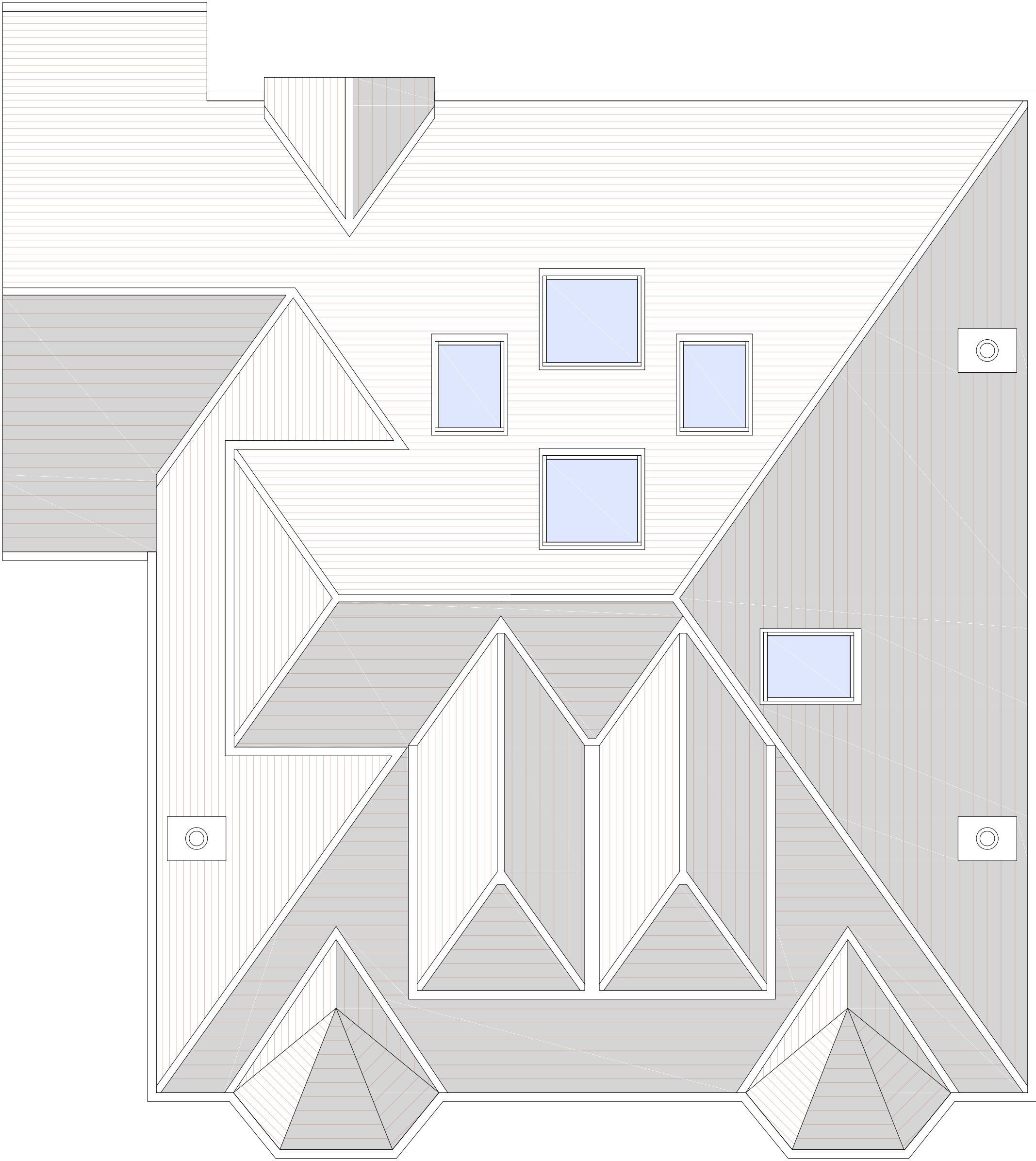
Drawing PROPOSED ATTIC FLOOR PLAN				Client Mr and Mrs Cherry		THIS DRAWING IS FOR PLANNING PURPOSES ONLY. ALL LEVELS & DIMENSIONS TO BE CHECKED ON SITE PRIOR TO CONSTRUCTION/ FABRICATION AND ANY DISCREPANCIES IMMEDIATELY REPORTED © 2021 ONE FOOT SQUARE				<div>onefootsquare Craig Proudfoot 129/4 Lindsay Road Newhaven Edinburgh, EH6 4UD 07936 184056 craig@onefootsquare.co.uk</div> <div>onefootsquare archiTecture&dEsigh www.onefootsquare.co.uk</div>					
Scale 1:50 @ A2		Date 04 JAN 2021		By CP		Project 14 Columba Road Edinburgh EH4 3QS		REV				DATE		NOTES	
								A				04/03/21		Dormer sizes reduced & moved off of ridge/ hip line. Front dormer roof divided into 2 pitched roofs matching language/ scale of property opposite.	
								B				17/03/21		Side dormer changed to flat roof with modified framing to frontage	
								C				12/05/21		Side dormer roof changed from flat roof to pitch roof	
Job No. 1095-COL		Drawing No. (P)005		Rev. C											



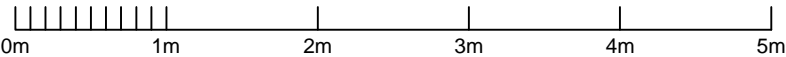
PROPOSED FRONT ELEVATION
1:50 @ A2



Drawing PROPOSED FRONT ELEVATION			Client Mr and Mrs Cherry		THIS DRAWING IS FOR PLANNING PURPOSES ONLY. ALL LEVELS & DIMENSIONS TO BE CHECKED ON SITE PRIOR TO CONSTRUCTION/ FABRICATION AND ANY DISCREPANCIES IMMEDIATELY REPORTED © 2021 ONE FOOT SQUARE			<div>onefootsquare</div> <div>Craig Proudfoot 129/4 Lindsay Road Newhaven Edinburgh, EH6 4UD 07936 184056 craig@onefootsquare.co.uk</div>		<div>onefootsquare</div> <div>archiTecture&dEsign www.onefootsquare.co.uk</div> <div></div>			
Scale 1:50 @ A2	Date 04 JAN 2021	By CP	Project 14 Columba Road Edinburgh EH4 3QS	REV	DATE	NOTES							
Job No. 1095-COL				Drawing No. (P)007			Rev. E			C	04/03/21	Dormer sizes reduced & moved off of ridge/ hip line. Front dormer roof divided into 2 pitched roofs matching language/ scale of property opposite.	
										D	17/03/21	Side dormer changed to flat roof with modified framing to frontage	
										E	12/05/21	Side dormer roof changed from flat roof to pitch roof	



PROPOSED ROOF PLAN
1:50 @ A2

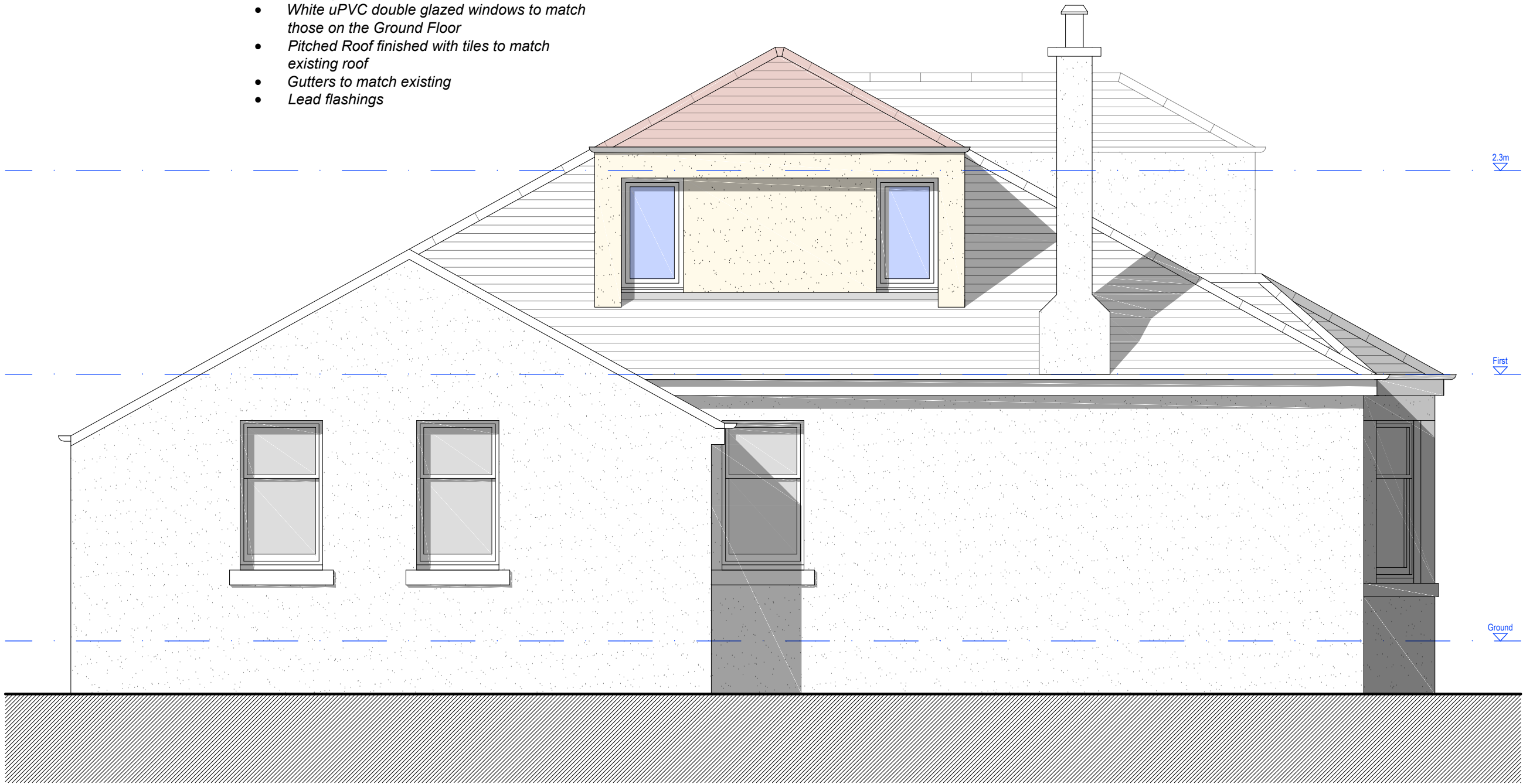


Drawing PROPOSED ROOF PLAN			Client Mr and Mrs Cherry		<small>THIS DRAWING IS FOR PLANNING PURPOSES ONLY. ALL LEVELS & DIMENSIONS TO BE CHECKED ON SITE PRIOR TO CONSTRUCTION/ FABRICATION AND ANY DISCREPANCIES IMMEDIATELY REPORTED. © 2021 ONE FOOT SQUARE</small>		
Scale 1:50 @ A2	Date 04 JAN 2021	By CP	Project 14 Columba Road Edinburgh EH4 3QS		REV	DATE	NOTES
Job No. 1095-COL	Drawing No. (P)009	Rev. B			A	17/03/21	Side dormer changed to flat roof with modified framing to frontage
					B	12/05/21	Side dormer roof changed from flat roof to pitch roof

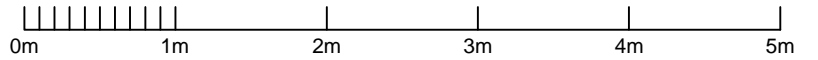
onefootsquare
Craig Proudfoot
129/4 Lindsay Road
Newhaven
Edinburgh, EH6 4UD
07936 184056
craig@onefootsquare.co.uk


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- New Side Dormer Window
- Cheeks and frontage rendered to match existing house
 - White uPVC double glazed windows to match those on the Ground Floor
 - Pitched Roof finished with tiles to match existing roof
 - Gutters to match existing
 - Lead flashings



PROPOSED SIDE ELEVATION
1:50 @ A2



Drawing PROPOSED SIDE ELEVATION			Client Mr and Mrs Cherry		THIS DRAWING IS FOR PLANNING PURPOSES ONLY. ALL LEVELS & DIMENSIONS TO BE CHECKED ON SITE PRIOR TO CONSTRUCTION/ FABRICATION AND ANY DISCREPANCIES IMMEDIATELY REPORTED © 2021 ONE FOOT SQUARE			<div>onefootsquare</div> <div>Craig Proudfoot 129/4 Lindsay Road Newhaven Edinburgh, EH6 4UD 07936 184056 craig@onefootsquare.co.uk</div>		<div>onefootsquare</div> <div>archiTecture&dEsigh www.onefootsquare.co.uk</div> <div></div>				
Scale 1:50 @ A2	Date 04 JAN 2021	By CP	Project 14 Columba Road Edinburgh EH4 3QS	REV	DATE	NOTES								
Job No. 1095-COL				Drawing No. (P)008			Rev. D			B	04/03/21	Dormer sizes reduced & moved off of ridge/ hip line. Front dormer roof divided into 2 pitched roofs matching language/ scale of property opposite.		
										C	17/03/21	Side dormer changed to flat roof with modified framing to frontage		
										D	12/05/21	Side dormer roof changed from flat roof to pitch roof		