

Arkiplan Ltd. (Bo'Ness)
FAO. Sean Elder.
28 Grahamsdyke Place
Bo'Ness
EH51 9QZ

Mrs S Gilchrist.
288 Colinton Mains Road
Edinburgh
EH13 9BS

Decision date: 13 December 2021

TOWN AND COUNTRY PLANNING (SCOTLAND) ACTS
DEVELOPMENT MANAGEMENT PROCEDURE (SCOTLAND) REGULATIONS 2013

Proposed extension to rear of ground floor flat.
At 288 Colinton Mains Road Edinburgh EH13 9BS

Application No: 21/05490/FUL

DECISION NOTICE

With reference to your application for Planning Permission registered on 18 October 2021, this has been decided by **Local Delegated Decision**. The Council in exercise of its powers under the Town and Country Planning (Scotland) Acts and regulations, now determines the application as **Refused** in accordance with the particulars given in the application.

Any condition(s) attached to this consent, with reasons for imposing them, or reasons for refusal, are shown below;

Conditions:-

1. The proposal for the erection of a dwelling is not in accordance with the Edinburgh Local Development Plan with respect to policy Des 12 and non-statutory Guidance for Householders. Furthermore, the proposal does not comply with the relevant SPP - sustainable development principles.

Please see the guidance notes on our [decision page](#) for further information, including how to appeal or review your decision.

Drawings 01-05, represent the determined scheme. Full details of the application can be found on the [Planning and Building Standards Online Services](#)

The reason why the Council made this decision is as follows:

The proposal for the erection of a dwelling is not in accordance with the Edinburgh Local Development Plan with respect to policy Des 12 and non-statutory Guidance for Householders. Furthermore, the proposal does not comply with the relevant SPP - sustainable development principles. There are no other material considerations which indicate that the proposal should be granted. Therefore, the recommendation is to refuse planning permission.

This determination does not carry with it any necessary consent or approval for the proposed development under other statutory enactments.

Should you have a specific enquiry regarding this decision please contact Rachel Webster directly at rachel.webster@edinburgh.gov.uk.



Chief Planning Officer
PLACE
The City of Edinburgh Council

NOTES

1. If the applicant is aggrieved by the decision to refuse permission for or approval required by a condition in respect of the proposed development, or to grant permission or approval subject to conditions, the applicant may require the planning authority to review the case under section 43A of the Town and Country Planning (Scotland) Act 1997 within three months beginning with the date of this notice. The Notice of Review can be made online at www.eplanning.scot or forms can be downloaded from that website. Paper forms should be addressed to the City of Edinburgh Planning Local Review Body, G.2, Waverley Court, 4 East Market Street, Edinburgh, EH8 8BG. For enquiries about the Local Review Body, please email localreviewbody@edinburgh.gov.uk.

2. If permission to develop land is refused or granted subject to conditions and the owner of the land claims that the land has become incapable of reasonably beneficial use in its existing state and cannot be rendered capable of reasonably beneficial use by carrying out of any development which has been or would be permitted, the owner of the land may serve on the planning authority a purchase notice requiring the purchase of the owner of the land's interest in the land accordance with Part 5 of the Town and Country Planning (Scotland) Act 1997.

Report of Handling

Application for Planning Permission
288 Colinton Mains Road, Edinburgh, EH13 9BS

Proposal: Proposed extension to rear of ground floor flat.

Item – Local Delegated Decision
Application Number – 21/05490/FUL
Ward – B08 - Colinton/Fairmilehead

Recommendation

It is recommended that this application be **Refused** subject to the details below.

Summary

The proposal for the erection of a dwelling is not in accordance with the Edinburgh Local Development Plan with respect to policy Des 12 and non-statutory Guidance for Householders. Furthermore, the proposal does not comply with the relevant SPP - sustainable development principles. There are no other material considerations which indicate that the proposal should be granted. Therefore, the recommendation is to refuse planning permission.

SECTION A – Application Background

Site Description

Lower cottage flat located on a small cul-de-sac to the south of Colinton Mains Road.

Description of the Proposals

Erection of single storey rear extension. Proposed materials are roughcast rendered walls and redland regent roof tiles to match the existing house.

Relevant Site History

No relevant site history.

Consultation Engagement

No Consultations.

Publicity and Public Engagement

Date of Neighbour Notification: 25 October 2021

Date of Advertisement: Not Applicable

Date of Site Notice: Not Applicable

Number of Contributors: 0

Section B - Assessment

Determining Issues

Section 25 of the Town and Country Planning (Scotland) Act 1997 states - Where, in making any determination under the Planning Acts, regard is to be had to the development plan, the determination shall be made in accordance with the plan unless material considerations indicate otherwise.

Do the proposals comply with the development plan?

If the proposals do comply with the development plan, are there any compelling reasons for not approving them?

If the proposals do not comply with the development plan, are there any compelling reasons for approving them?

Assessment

To address these determining issues, it needs to be considered whether:

- a) the proposed scale, form and design is acceptable and will not be detrimental to neighbourhood character;
- b) the proposal will cause an unreasonable loss to neighbouring amenity;
- c) any impacts on equalities or human rights are acceptable;
- d) any comments raised have been addressed; and
- e) there are any other material considerations.

a) Scale, form, design and neighbourhood character

The proposals are of an acceptable scale in relation to the design of the existing flat. However, the extension will occupy a significant area of existing rear garden ground, the existing private garden extends 37.5sqm and the extension will occupy 23.7sqm (63%). This far exceeds the maximum one third of garden ground to be covered by extensions as recommended in Guidance for Householders. The proposals are therefore overdevelopment of the garden ground relating to the ground floor flat with little private outdoor space retained.

The proposals fail to comply with Local Development Plan Policy Des 12 but fail to comply with the non-statutory Guidance for Householders.

b) Neighbouring amenity

The proposals have been assessed against requirements set out in the non-statutory Guidance for Householders to ensure there is no unreasonable loss to neighbouring amenity with respect to overshadowing and loss of daylight or sunlight.

The extension will be located less than 9 metres from a garden boundary, being located only 1.75m from the garden boundary and is partially bound beyond this by an open common drying green and the private garden ground of the upper flat. There is little opportunity to screen the extension from neighbouring garden ground given the small distances involved.

The proposals fail to comply with Local Development Plan Policy Des 12 and the non-statutory Guidance for Householders in terms of privacy.

In addition, the proposed extension will be located on the boundary with the adjoining lower flat which has a private garden of a similar depth to the application site. Guidance for Householders identifies that there is the potential for a development to cause an unacceptable loss of sunlight to neighbouring garden ground where development exceeds 2.8m high on the boundary as the extension will be located to the east of the adjoining neighbour. As the proposed extension exceeds this height, the proposals will result in a loss of sunlight to neighbouring garden ground. No evidence has been submitted such as sun path analysis to contradict this conclusion.

The proposals fail to comply with Local Development Plan Policy Des 12 but fail to comply with the non-statutory Guidance for Householders.

c) Equalities and human rights

This application was assessed in terms of equalities and human rights. No impact was identified.

d) Public comments

No comments were received.

e) Other considerations

Due to the development plan being over 5 years old the Scottish Planning Policy presumption in favour of sustainable development is a significant material consideration. Paragraph 28 of SPP gives a presumption in favour of development which contributes to sustainable development. Paragraph 29 outlines the thirteen principles which should guide the assessment of sustainable development.

To determine whether the proposals are sustainable development they require to be assessed against the sustainability principles as set out in Scottish Planning Policy.

The proposals are not considered to be sustainable development as they fail to accord with the sustainability principles of:

- 'Do the Proposals Comply with Sustainability Principle 3 of supporting good design and the six qualities of successful places? '
- 'Do the Proposals Comply with Sustainability Principle 13 of avoiding over-development, protecting the amenity of new and existing development and considering the implications of development for water, air and soil quality?'

Emerging Policy Context

NPF 4 - Draft National Planning Framework 4 is being consulted on at present. As such, it has not yet been adopted. Therefore, little weight can be attached to it as a material consideration in the determination of this application.

City Plan 2030 - While the proposed City Plan is the settled will of the Council, it has not yet been submitted to Scottish Ministers for examination. As such, little weight can be attached to it as a material consideration in the determination of this application.

Section C - Conditions/Reasons/Informatives

The recommendation is subject to the following;

Reasons

1. The proposal for the erection of a dwelling is not in accordance with the Edinburgh Local Development Plan with respect to policy Des 12 and non-statutory Guidance for Householders. Furthermore, the proposal does not comply with the relevant SPP - sustainable development principles.

Background Reading/External References

To view details of the application go to the [Planning Portal](#)

Further Information - [Local Development Plan](#)

Date Registered: 18 October 2021

Drawing Numbers/Scheme

01-05

Scheme 1

David Givan
Chief Planning Officer
PLACE
The City of Edinburgh Council

Contact: Rachel Webster, Planning Officer
E-mail: rachel.webster@edinburgh.gov.uk

Appendix 1

Consultations

No consultations undertaken.

Business Centre G.2 Waverley Court 4 East Market Street Edinburgh EH8 8BG Email: planning.support@edinburgh.gov.uk

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100487439-002

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

Applicant or Agent Details

Are you an applicant or an agent? * (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

Applicant Agent

Agent Details

Please enter Agent details

Company/Organisation:	ARKIPLAN LTD		
Ref. Number:		You must enter a Building Name or Number, or both: *	
First Name: *	SEAN	Building Name:	
Last Name: *	ELDER	Building Number:	28
Telephone Number: *	01506 500169	Address 1 (Street): *	GRAHAMSDYKE PLACE
Extension Number:		Address 2:	
Mobile Number:		Town/City: *	BONNESS
Fax Number:		Country: *	UK
		Postcode: *	EH51 9QZ
Email Address: *	seanelder@blueyonder.co.uk		

Is the applicant an individual or an organisation/corporate entity? *

Individual Organisation/Corporate entity

Applicant Details

Please enter Applicant details

Title:	<input type="text" value="Mrs"/>	You must enter a Building Name or Number, or both: *	
Other Title:	<input type="text"/>	Building Name:	<input type="text"/>
First Name: *	<input type="text" value="S"/>	Building Number:	<input type="text" value="288"/>
Last Name: *	<input type="text" value="GILCHRIST"/>	Address 1 (Street): *	<input type="text" value="COLINTON MAINS ROAD"/>
Company/Organisation	<input type="text"/>	Address 2:	<input type="text"/>
Telephone Number: *	<input type="text"/>	Town/City: *	<input type="text" value="EDINBURGH"/>
Extension Number:	<input type="text"/>	Country: *	<input type="text" value="UK"/>
Mobile Number:	<input type="text" value=""/>	Postcode: *	<input type="text" value="EH13 9BS"/>
Fax Number:	<input type="text"/>		
Email Address: *	<input type="text" value=""/>		

Site Address Details

Planning Authority:	<input type="text" value="City of Edinburgh Council"/>
Full postal address of the site (including postcode where available):	
Address 1:	<input type="text" value="288 COLINTON MAINS ROAD"/>
Address 2:	<input type="text" value="FIRRHILL"/>
Address 3:	<input type="text"/>
Address 4:	<input type="text"/>
Address 5:	<input type="text"/>
Town/City/Settlement:	<input type="text" value="EDINBURGH"/>
Post Code:	<input type="text" value="EH13 9BS"/>

Please identify/describe the location of the site or sites

Northing	<input type="text" value="668800"/>	Easting	<input type="text" value="323173"/>
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Description of Proposal

Please provide a description of your proposal to which your review relates. The description should be the same as given in the application form, or as amended with the agreement of the planning authority: *
(Max 500 characters)

PROPOSED EXTENSION TO REAR OF GROUND FLOOR FLAT

Type of Application

What type of application did you submit to the planning authority? *

- Application for planning permission (including householder application but excluding application to work minerals).
- Application for planning permission in principle.
- Further application.
- Application for approval of matters specified in conditions.

What does your review relate to? *

- Refusal Notice.
- Grant of permission with Conditions imposed.
- No decision reached within the prescribed period (two months after validation date or any agreed extension) – deemed refusal.

Statement of reasons for seeking review

You must state in full, why you are seeking a review of the planning authority's decision (or failure to make a decision). Your statement must set out all matters you consider require to be taken into account in determining your review. If necessary this can be provided as a separate document in the 'Supporting Documents' section: * (Max 500 characters)

Note: you are unlikely to have a further opportunity to add to your statement of appeal at a later date, so it is essential that you produce all of the information you want the decision-maker to take into account.

You should not however raise any new matter which was not before the planning authority at the time it decided your application (or at the time expiry of the period of determination), unless you can demonstrate that the new matter could not have been raised before that time or that it not being raised before that time is a consequence of exceptional circumstances.

The rear property is south facing and receives direct sunlight all day. There is no loss of daylight to the neighbouring property or over shadowing. The extension falls below the maximum allowance of over shadowing of the neighbours french doors ,this is demonstrated on the rear elevation drawing . The extension is within the garden area and has a common drying area adjoining. The applicant will be purchasing the immediate upper flat and garden area so will own the whole of the garden.

Have you raised any matters which were not before the appointed officer at the time the Determination on your application was made? *

Yes No

If yes, you should explain in the box below, why you are raising the new matter, why it was not raised with the appointed officer before your application was determined and why you consider it should be considered in your review: * (Max 500 characters)

It was pointed out that there would be no loss of daylight by over shadowing of the extension.

Please provide a list of all supporting documents, materials and evidence which you wish to submit with your notice of review and intend to rely on in support of your review. You can attach these documents electronically later in the process: * (Max 500 characters)

application drawings , photos of property, Refusal document

Application Details

Please provide the application reference no. given to you by your planning authority for your previous application.

21/05490/FUL

What date was the application submitted to the planning authority? *

18/10/2021

What date was the decision issued by the planning authority? *

13/12/2021

Review Procedure

The Local Review Body will decide on the procedure to be used to determine your review and may at any time during the review process require that further information or representations be made to enable them to determine the review. Further information may be required by one or a combination of procedures, such as: written submissions; the holding of one or more hearing sessions and/or inspecting the land which is the subject of the review case.

Can this review continue to a conclusion, in your opinion, based on a review of the relevant information provided by yourself and other parties only, without any further procedures? For example, written submission, hearing session, site inspection. *

Yes No

In the event that the Local Review Body appointed to consider your application decides to inspect the site, in your opinion:

Can the site be clearly seen from a road or public land? *

Yes No

Is it possible for the site to be accessed safely and without barriers to entry? *

Yes No

If there are reasons why you think the local Review Body would be unable to undertake an unaccompanied site inspection, please explain here. (Max 500 characters)

Checklist – Application for Notice of Review

Please complete the following checklist to make sure you have provided all the necessary information in support of your appeal. Failure to submit all this information may result in your appeal being deemed invalid.

Have you provided the name and address of the applicant?. *

Yes No

Have you provided the date and reference number of the application which is the subject of this review? *

Yes No

If you are the agent, acting on behalf of the applicant, have you provided details of your name and address and indicated whether any notice or correspondence required in connection with the review should be sent to you or the applicant? *

Yes No N/A

Have you provided a statement setting out your reasons for requiring a review and by what procedure (or combination of procedures) you wish the review to be conducted? *

Yes No

Note: You must state, in full, why you are seeking a review on your application. Your statement must set out all matters you consider require to be taken into account in determining your review. You may not have a further opportunity to add to your statement of review at a later date. It is therefore essential that you submit with your notice of review, all necessary information and evidence that you rely on and wish the Local Review Body to consider as part of your review.

Please attach a copy of all documents, material and evidence which you intend to rely on (e.g. plans and Drawings) which are now the subject of this review *

Yes No

Note: Where the review relates to a further application e.g. renewal of planning permission or modification, variation or removal of a planning condition or where it relates to an application for approval of matters specified in conditions, it is advisable to provide the application reference number, approved plans and decision notice (if any) from the earlier consent.

Declare – Notice of Review

I/We the applicant/agent certify that this is an application for review on the grounds stated.

Declaration Name: Mr SEAN ELDER

Declaration Date: 01/03/2022

















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FAO. Sean Elder.
28 Grahamsdyke Place
Bo'Ness
EH51 9QZ

Mrs S Gilchrist.
288 Colinton Mains Road
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EH13 9BS

Decision date: 13 December 2021

TOWN AND COUNTRY PLANNING (SCOTLAND) ACTS
DEVELOPMENT MANAGEMENT PROCEDURE (SCOTLAND) REGULATIONS 2013

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Drawings 01-05, represent the determined scheme. Full details of the application can be found on the [Planning and Building Standards Online Services](#)

The reason why the Council made this decision is as follows:

This determination does not carry with it any necessary consent or approval for the proposed development under other statutory enactments.

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Chief Planning Officer
PLACE
The City of Edinburgh Council

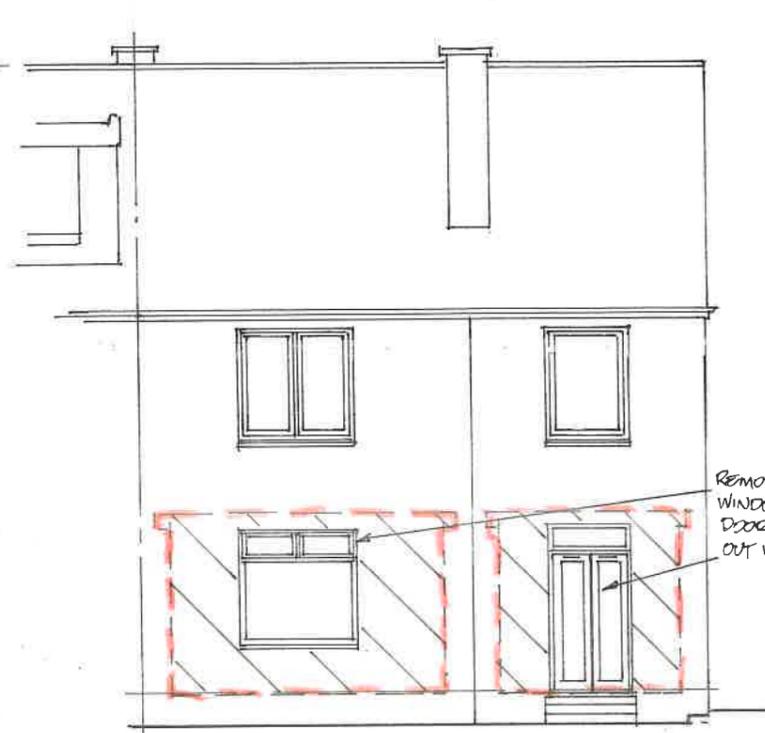
NOTES

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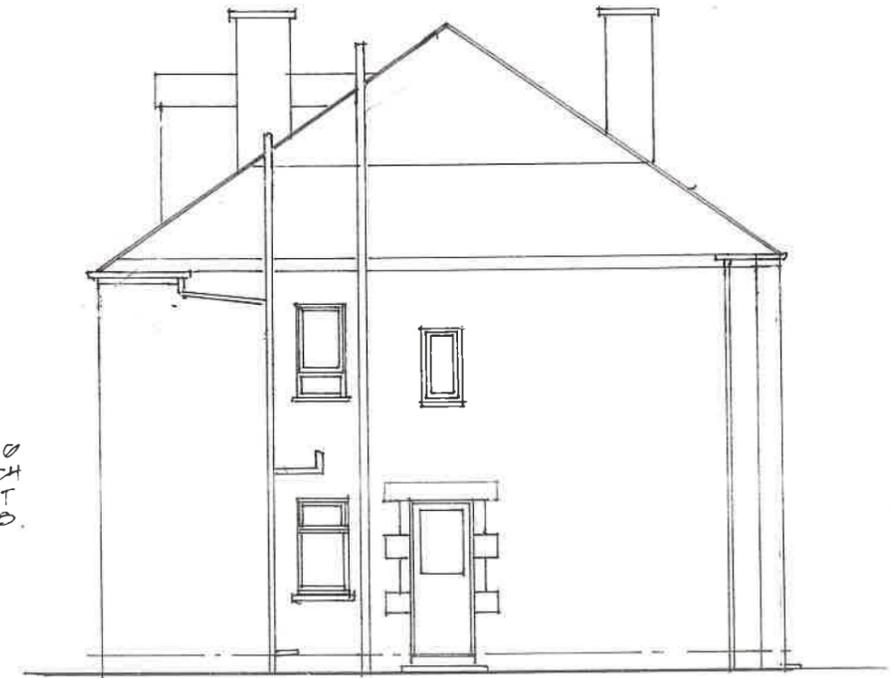
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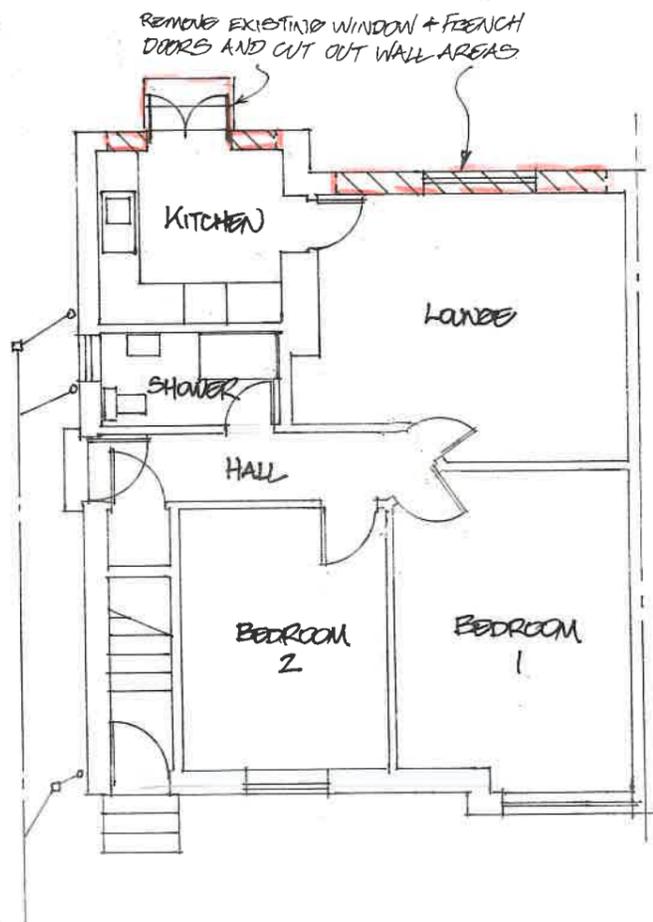
EXISTING FRONT ELEVATION



EXISTING REAR ELEVATION

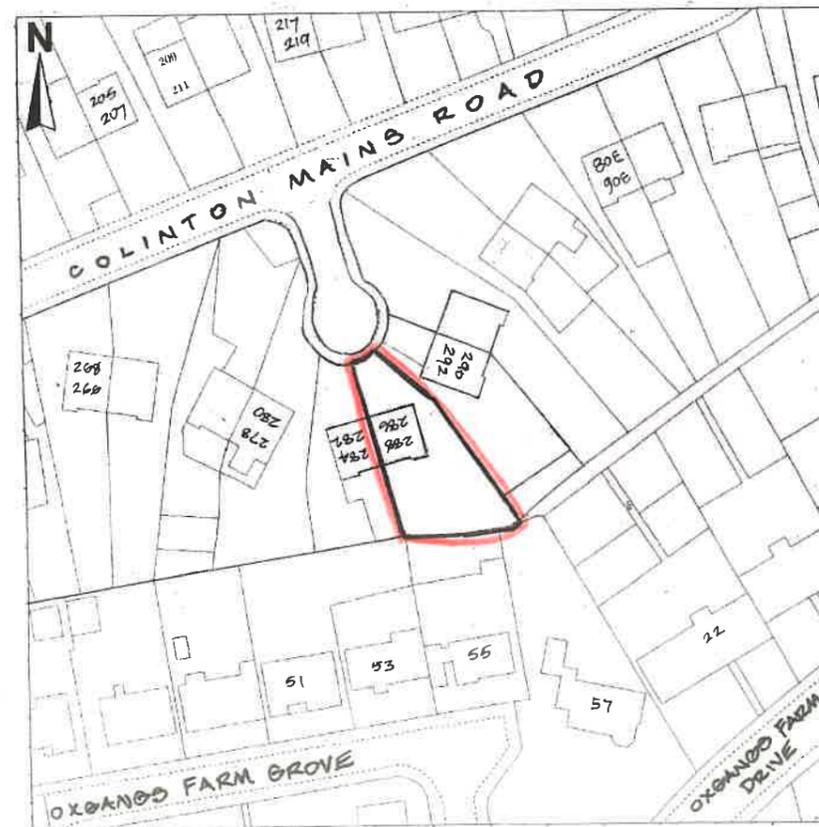


EXISTING SIDE ELEVATION

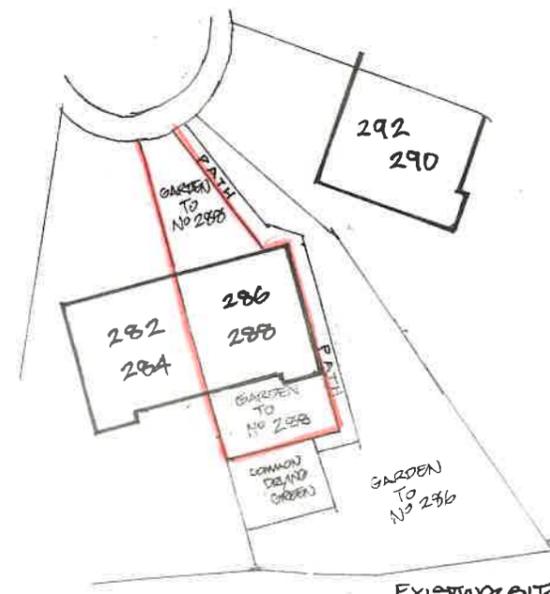


EXISTING FLOOR PLAN.

1:100 SCALE



LOCATION PLAN



EXISTING SITE PLAN

1:500 SCALE

CONSTRUCTION NOTES

All work to be in accordance with the current Building Standards (Scotland) Regulations. All electrical work to be to current I.E.T. Regulations & BS 7671 2019. All new works, products & processes are to be to manufacturers guidance.
 Drainage: Surface Water Drainage to be installed & constructed to BS EN 12056-3:2000. Sanitary Pipework to be installed & constructed to BS EN 12056-2:2000. External Drainage to be installed & constructed to BS EN 12056-1:2000, BS EN 752:2008 & BS EN 1610:1998 and to the entire satisfaction of the Local Authority. All sizes **must** be checked and verified on site prior to ordering materials and commencing works by building contractor. Any discrepancies or changes are to be reported to Architect prior to work continuing. If in doubt ask.

CLIENT:	MRS S GILCHRIST
288 COLINTON MAINS ROAD	
EDINBURGH	
POSTCODE:	EH13 9BS
TELEPHONE:	
PROJECT SPECIFICATION:	Proposed Extension to Ground Floor Flat
SCALE:	1:100, 1:500
DATE:	SEPTEMBER 2021
CONTRACT NO:	EG-07



28 Grahamsdyke Place, Bo'ness, West Lothian, EH51 9QZ
 Tel/Fax: 01506 500169
 E-mail: seanelder@blueyonder.co.uk

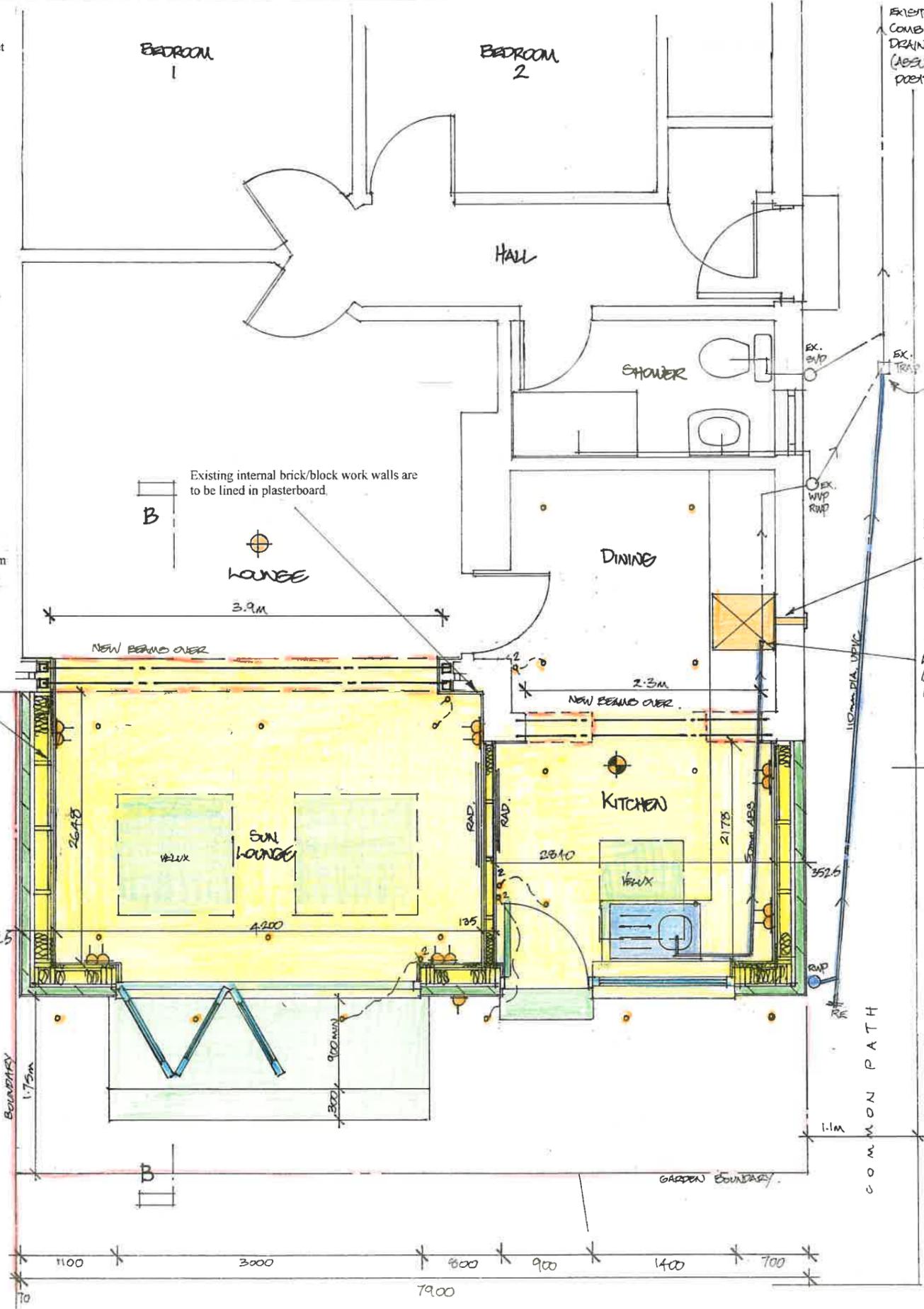
ELECTRICAL LEGEND

-  Double electrical socket outlet
-  Light switch
-  Downlighter
-  Smoke detector
-  Heat Detector
-  Single electrical socket outlet

Downlighters to be low voltage and fitted with fireproof covers. PFC Corofil intumescent downlight covers or equal approved.

All proposed smoke detectors & heat detectors are to be inter connected and connected into existing fire detection system.

All walls adjacent to boundary are to be provided with an additional layer of 12.5mm plasterboard to provide a medium duration of fire resistance.



Connect new surface water drain into existing via 110mm dia. UPVC drains laid in 150mm pea gravel surround with a min 1:50 fall.

Kitchen to have new cooker hood extract fan with intermittent extraction rate of 30l/sec. 100mm dia internal ducting to be ducted through wall and fitted with external grill. Fan to be fitted with isolator switch.

CONNECT NEW SINK DRAIN INTO EXISTING. NEW DRAIN TO BE INSTALLED BEHIND KITCHEN UNITS.

SMOKE & HEAT DETECTORS
Smoke alarms should be ceiling mounted and between 25mm and 600mm below the ceiling and at least 300mm away from any wall or light fittings. Heat alarm to be between 25mm and 150mm below ceiling

NOTE:
New radiator(s) installed in new room(s) are to have means of control independently from the rest of the existing dwelling. All new radiators to be fitted with T.C.V.'s. And all associated pipework to be insulated.

WALLS
Roughcast to match house on 100mm dense concrete block outer leaf. 50mm cavity, breather membrane on 10mm exterior ply sarking on 147x44 C16 treated timber stud frame @ 600mm centres, 30mm air gap, 120mm Kingspan TW55 insulation between studs, vapour barrier, 20mm Kingspan TW55 insulation 1 layer 12.5mm plasterboard (2 layers at boundary) with plaster skimcoat finish. (u value 0.17 W/m2K). Wall ties: 300mm centres vertically and 600mm centres horizontally. Cavities to be vented @ 1.2m centres with Perpend vents as shown. New outer leaf to be tied into existing wall with Furfix profiles or equal approved, new timber frame to be tied into existing wall with Hilti HR U-14 frame anchors @ 300mm centres. D.p.c.'s to be provided at min 150mm above ground level. All new d.p.c.'s & d.p.m.'s to be lapped together and to be lapped into existing d.p.c.'s. Cavity closers to be provided around all openings, wall heads and @ 2m centres max vertically.

NOTE: All electrical installations to be certified by an approved electrician or electrical contractor.
NOTE: All drainage to be in accordance with BS EN 12056:Pt 2:2000.

NOTE: New smoke/heat alarms to be mains operated, inter-linked and have battery back up. New system to be also inter-linked with existing system.
Smoke/fire detection to be in accordance with BS EN 14604/2005 & BS 5446: Part 2:2003. Installation to be in accordance with recommendations of BS5839:Pt6: 2004 Grade D.

NOTE
Every service, fitting or piece of equipment provided so as to serve a purpose of the Regulations should be designed, installed and commissioned in such a way as to fulfil these purposes.

NOTE
No new works are to impair the sound/fire resistance of an existing sound/fire resistant element. Any disturbed sound/fire resistant elements are to be made good in a manner that is in compliance with the required performance for that element.

Note
To minimise thermal bridging, cills are to be wrapped in insulated d.p.c.'s. Insulated plasterboard to be provided around ingoing jambs, and wall heads around window openings.
Cavity closers (Rockwool TCB or equal approved) are to be provided at heads and jambs of window and door openings.

ELECTRICAL

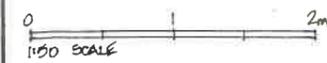
All electrical socket outlets, light switches, t.v. and data points to be positioned at least 350mm away from any internal corner. Socket outlets to be positioned at least 400mm above floor level and light switches to be positioned between 900mm and 1100mm above floor level. A minimum of 75% of new fixed lighting & lamps to be low energy type. Radiator to be fitted with t.c.v. & all pipework to be insulated.

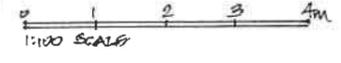
CLIENT:	MRS O GILCHRIST
ADDRESS:	288 COLINTON MAINS ROAD EDINBURGH EH13 9BS
POSTCODE:	EH13 9BS
TELEPHONE:	
PROJECT SPECIFICATION:	PROPOSED EXTENSION TO GROUND FLOOR FLAT
SCALE:	1:50
DATE:	SEPTEMBER 2021
CONTRACT NO:	SG-002



28 Grahamsdyke Place, Bo'ness, West Lothian, EH51 9QZ
Tel/Fax: 01506 500169
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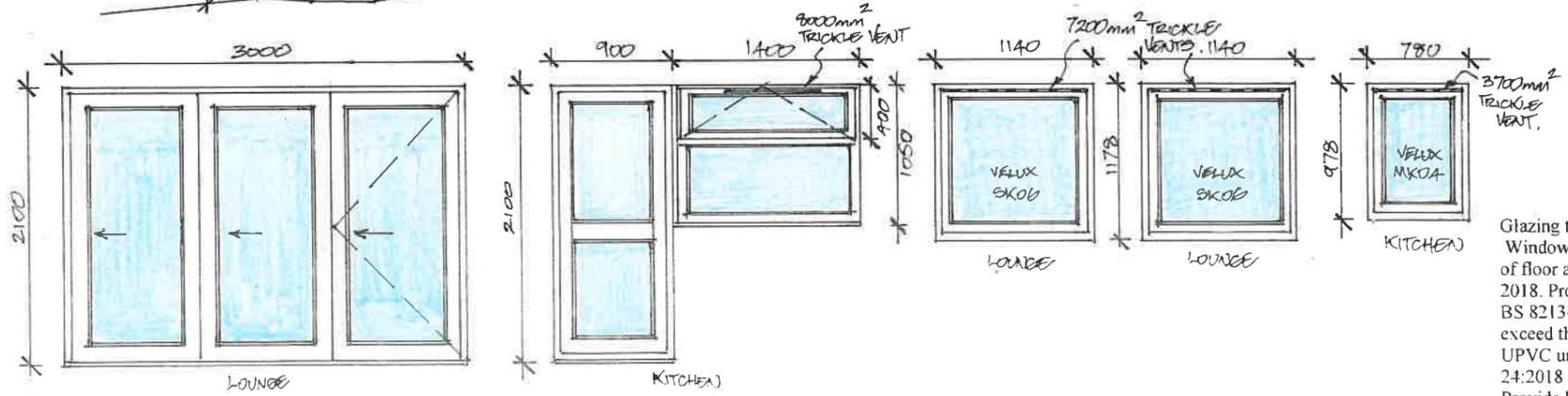
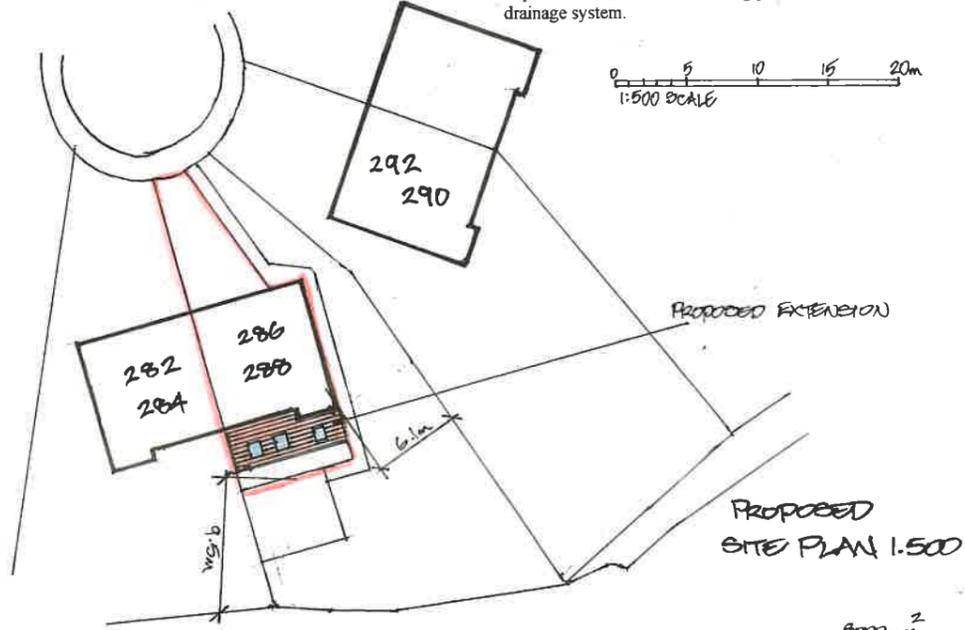
PROPOSED FLOOR PLAN





The proposed extension is not being built over a public sewer. Therefore consent is not required to build over the existing private drainage system.

Any existing solun vents discovered in house wall are to be maintained by ducting through under new floor with upvc ducting and to terminate on nearest available outside wall to vent to outside air.



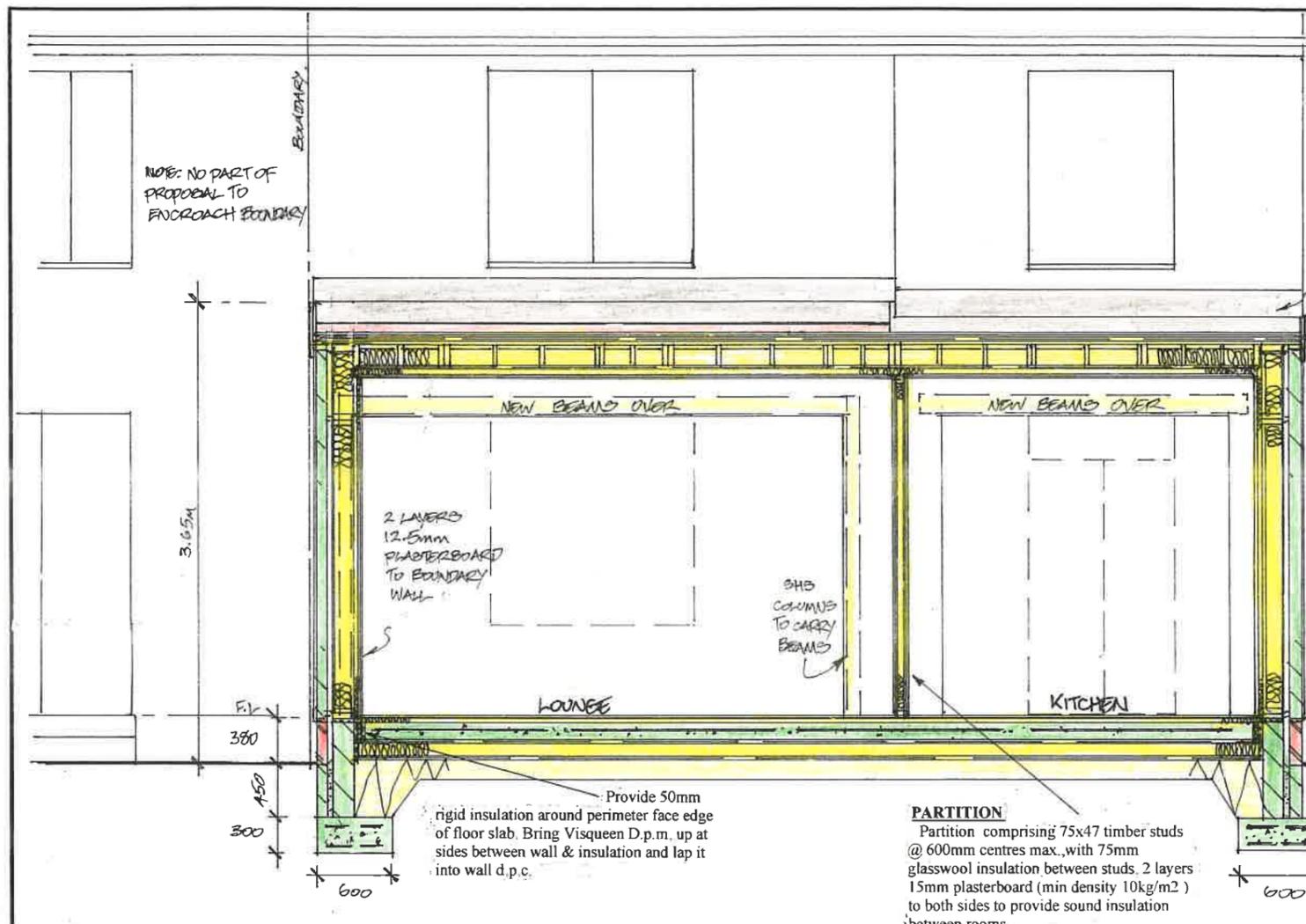
WINDOW & DOOR SCHEDULE

Glazing to have a u-value not exceeding 1.3w/m²K
 Windows /doors to have an openable area of at least 1/30th of floor area. Glazing below 800mm to be to BS6262 Pt4: 2018. Proposed windows/doors to be fitted to min Section 8 of BS 8213-4:2016 or manufacturers recommendations that exceed that standard. Door/window to meet BS 7412:2007 for UPVC units and tested to BS 7950 :1997 for windows & PAS 24:2018 for door sets and meet Secured By Design Standards. Provide laminate glass to all new doors. All windows to have removable key locking system.

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POSTCODE: EH13 9BS
TELEPHONE:
PROJECT SPECIFICATION: Proposed Extension to GROUND FLOOR FLAT
SCALE: 1:100, 1:50, 1:500 DATE: SEPTEMBER 2021
CONTRACT NO: EG-003



28 Grahamsdyke Place, Bo'ness, West Lothian, EH51 9QZ
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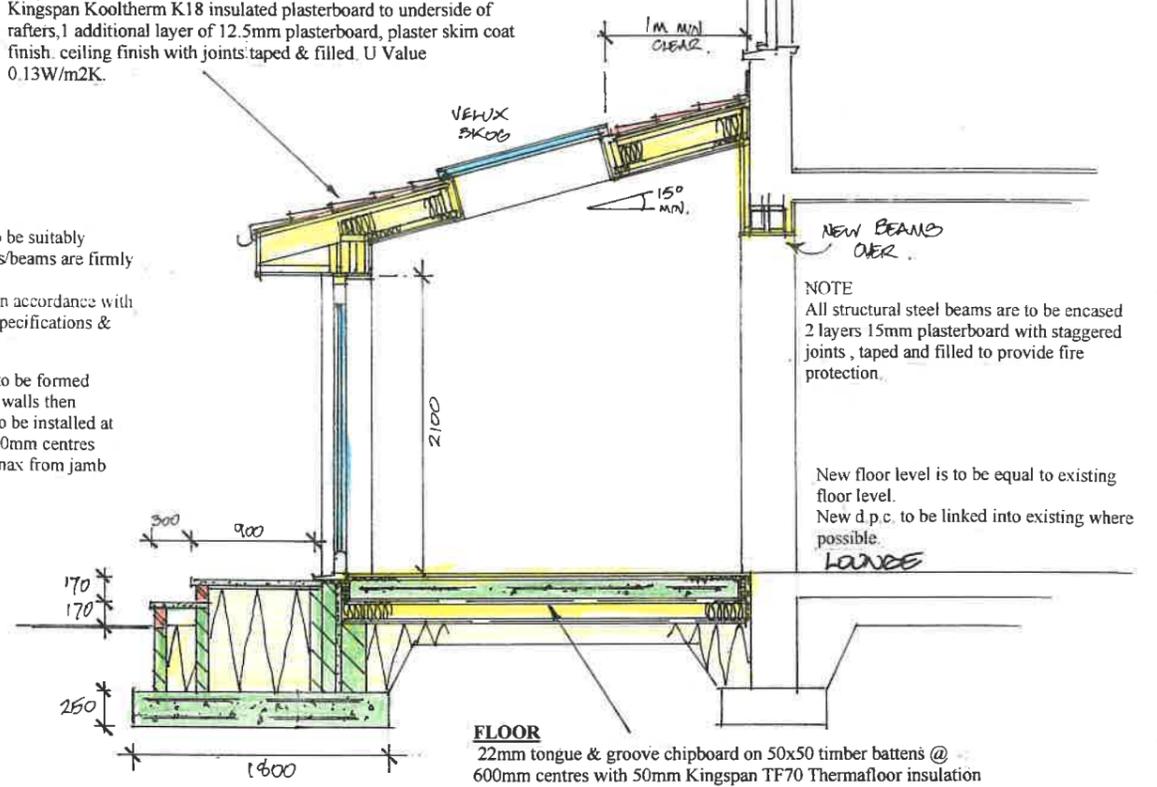
SECTION 'A-A'

ROOF
 Redland Regent roof tiles (or alternative tile suitable for a 15 degree roof pitch) on 25x 50 battens on 25x38 counter battens on Tyvek Supra breathable roof membrane or equal on 15mm x 150mm timber sarking (provide 2-3mm gaps between timbers) on 195x44 c16 grade timber rafters @ 450mm centres Roof to be insulated with 50mm air space, 120mm Kingspan TP10 Thermapitch insulation between rafters , vapour barrier, 72.5mm Kingspan Kooltherm K18 insulated plasterboard to underside of rafters, 1 additional layer of 12.5mm plasterboard, plaster skim coat finish. ceiling finish with joints taped & filled. U Value 0.13W/m2K.

MIN 150mm HIGH CODE 5 LEAD FLASHING
 Existing structure/walls to be suitably supported until new lintels/beams are firmly bedded in place.
 All structural work to be in accordance with the Structural Engineers specifications & instructions.
 Where new openings are to be formed through existing masonry walls then additional wall ties have to be installed at both exposed jambs at 300mm centres vertically and at 225mm max from jamb face.

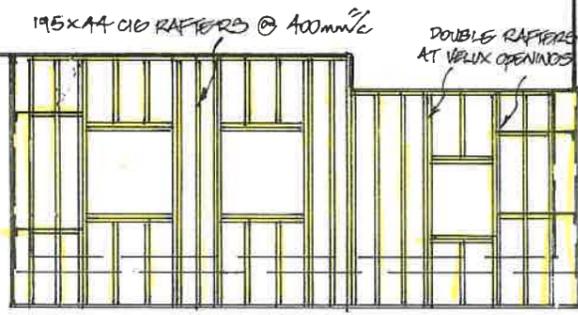
PARTITION
 Partition comprising 75x47 timber studs @ 600mm centres max., with 75mm glasswool insulation between studs. 2 layers 15mm plasterboard (min density 10kg/m²) to both sides to provide sound insulation between rooms.

SECTION 'B-B'

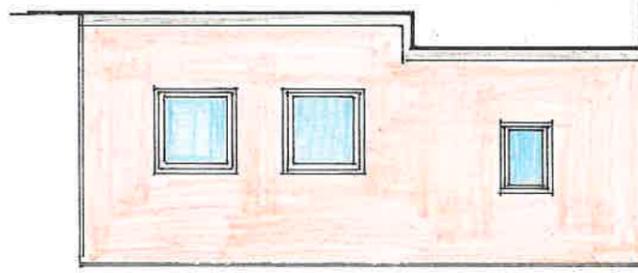


NOTE
 All structural steel beams are to be encased 2 layers 15mm plasterboard with staggered joints , taped and filled to provide fire protection.

New floor level is to be equal to existing floor level.
 New d.p.c. to be linked into existing where possible.
 LOUNGE



ROOF RAFTER PLAN



ROOF PLAN

CLIENT:	MRS S GILCHRIST
2885 COLINTON MAINS ROAD	
EDINBURGH	
POSTCODE:	EH
TELEPHONE:	
PROJECT SPECIFICATION:	PROPOSED EXTENSION TO GROUND FLOOR FLAT
SCALE:	1:50, 1:100
DATE:	SEPTEMBER 2021
CONTRACT NO.:	SG-004



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