

Development Management Sub-Committee Report

Wednesday 15 June 2022

**Application for Listed Building Consent
47 - 52 Princes Street, Edinburgh, EH2 2DF**

Proposal: Internal and external alterations, extensions and restoration works to facilitate Change of Use from retail to mixed-use development (including retail and hotel with ancillary uses and restaurant/bar spaces) including roof-top extensions.

**Item – Other Item at Committee
Application Number – 22/00327/LBC
Ward – B11 - City Centre**

Reasons for Referral to Committee

The proposed works affect an iconic category A listed building and are extensive. Therefore, the application must be determined by the Development Management Sub Committee due to being of significant public interest.

Recommendation

It is recommended that this application be **Granted** subject to the details below.

Summary

The proposals comply with Sections 14 and 64 of the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997. There are no material considerations which indicate that the proposal should be refused. Therefore, the proposals are acceptable.

SECTION A – Application Background

Site Description

The application relates to the former Jenners department store, comprising the original building on Princes Street/South St David Street, early extension on the corner of South St David Street/Rose Street, parts of later buildings at 50-52 Princes Street and 2-12 and 14-20 Rose Street and the basement and part of the ground floor of 3-9 Rose Street.

47-52 Princes Street and 2-14 South St David Street

The former purpose-built department store by W Hamilton Beattie, dating from 1895, is an early Renaissance style, six storey building constructed in pink polished ashlar sandstone with red and white glazed brick rear elevations, extensive masonry detailing and a canted seven-storey corner tower. The plan form is in two sections to accommodate the northwards rise of South St David Street. The facade windows are mainly plate-glass casement and the roof pitches are finished in grey slate.

The original interior plan form was innovative in layout and design to encourage interaction between shoppers and customer circulation throughout the store, comprising principal retail spaces at ground to third floor level, a central top-lit gallery and double-height entrance space from Princes Street with a mezzanine tearoom. These spaces have been altered over time, notably the removal of the grand stair at the northern end of the gallery and flooring over of the mezzanine level. The historic detailing is elaborate, influenced by Moorish and Jacobean styles.

The section on the corner of South St David Street and Rose Street is a 1905 extension by Beattie's partner, A R Scott, mimicking the original external facades, but with a plainly detailed, open-plan floorplate interior to display furniture and large goods. The proposed design included elaborate roof-top and wallhead detailing with a feature corner tower, but the constructed roof was scaled back to a simpler corner roof parapet and mansard roof with dormers.

The former store extends into the basement to second floor levels of the adjoining building on Princes Street (nos. 50-52) which is a 1966 sandstone-clad extension by Tarbolton and Ochterlony to their Mount Royal hotel of 1955 adjoining to the east.

The building is category A listed (listed building reference: LB29505, listed on 14 December 1970).

2-12 Rose Street and 14-20 Rose Street

These four and three-storey, unlisted buildings were erected in 1959-60 and circa 1977 respectfully as extensions to the existing Jenners store, with two link bridges of two and three storeys connecting with the 1905 block. The structures are simply detailed with yellow sandstone facades, a pink sandstone surround at nos. 2-12 and red granite-clad shopfronts. The Marks and Spencer store occupies the ground and basement floors of these buildings.

The site is within the Old and New Towns of Edinburgh World Heritage Site and New Town Conservation Area and is within the immediate settings of several listed buildings and structures, notably:

- the former Scottish Widows Fund and Life Assurance Society by Basil Spence and Partners at 9 and 10 St Andrew Square (category A listed, listed building reference: LB43349, listed on 28 March 1996);
- the Scott Monument in East Princes Street Gardens (category A listed, listed building reference: LB27829, listed on 14 December 1970);
- the Melville Monument in St Andrew Square (category A listed, listed building reference: LB27816, listed on 13 January 1966);

- 3-9 Rose Street, including the Abbotsford Bar and former Jenners workshop (category B listed, listed building reference: LB30151, listed on 12 December 1974); and
- The Old Waverley Hotel at 42-46 Princes Street and 1 South St David Street (category B listed, listed building reference: LB29504, listed on 19 December 1979).

East Princes Street Gardens, part of the New Town Gardens Designed Landscape (reference: GDL00367), is situated to the south of the site.

The surrounding area is in mixed, predominantly commercial, use including shops, offices, hotels, restaurants and bars.

Description Of The Proposal

The application is for external and internal alterations, including extensions, to the listed part of the former department store and remodelling/extension of the unlisted sections on Rose Street to form a new combined retail, hotel and hospitality development with the following key use and ancillary areas:

- retail at basement to first floor level within the 1895 building and adjoining 1960's building on Princes Street;
- hotel on the upper floors of the original building, entire 1905 extension (including a bar within an added seventh floor) and Rose Street buildings;
- food and drink at second floor level of the 1895 building;
- gym within an altered fifth floor of the west wing of the original building; and
- plant and services within a new roof extension on South St David Street, on the third, fourth and new sixth floor of the above west wing and in various basement areas.

The most significant proposed alterations are as follows:

External

1895/1905 building

- erect a new sixth/seventh floor with a natural slate and zinc finished mansard roof, traditional style dormers on the Princes Street elevation and an extension to the south stair tower above the existing mansard roof structures on Princes Street and South St David Street, involving the re-use of the original brattishing and removal of two hipped sections of roof and later plant room structures;
- remove the existing corner parapet, sixth floor and plant room additions of the 1905 block and install an elaborately detailed, sandstone-constructed corner tower and a new sandstone-faced sixth floor with paired windows and natural slate-finished mansard-roofed seventh floor with contemporary style, lead-covered dormers on the Rose Street elevation;
- infill twelve windows on the rear Rose Street elevation of the 1905 block with glazed brick to match the existing elevation;

- remove the infill floors above the ground floor mezzanine of the 1895 building and reinstate a cupola to match the original form;
- remove the existing fifth floor of the west wing and erect a taller fifth level and new sixth floor finished in red brick with a flat metal-louvred roof covering external plant within the sixth floor;
- replace the modern doors at the historic store's Princes Street entrance and replace with re-interpreted versions of the original doors on the 1895 footprint, restore altered elements of the original shopfronts on South St David Street where later ventilation grilles and thicker mullions have been added, reinstate prism glazing to stallrisers and install fire exit doors in place of existing windows on this elevation;
- remove the existing modern entrance doors and two shop windows on the Rose Street elevation of the 1905 block, reinstate a shop window in place of the doors and install new entrance doors in the former shop windows openings with a new metal entrance canopy above;
- restore and reinstate all windows to match the original glazing pattern and internal secondary glazing to the majority; and
- install miniature spotlights concealed behind stone-coloured upstands on the projecting architectural ledges and small decorative wall-mounted luminaires to provide façade lighting.

1966 building

- remove the existing windows and cladding of the 1966 extension up to third floor level and install a new facade to match the existing second and third floor elevations, but with a heightened shopfront and double-glazed windows, re-using the original sandstone cladding.

Internal

1895/1905 building

- restore the previously floored-over, ground floor mezzanine level, install a cupola to match the original form and balustrade designed as a reinterpretation of the historic pattern;
- remove most of the existing stairs and all existing lifts, retaining significant original stairs and install new stairs and lifts, including a new feature stair at the north end of the 1895 central atrium running from ground to second floor level;
- remove later extensions to the floorplates of the atrium gallery and realign the balustrades (using the existing fabric) to follow the reduced floor profiles;
- take down later or modern internal walls, raised floor areas, modern entrance lobbies and coverings over lightwells and erect new partitions to form hotel bedrooms and ancillary facilities and

- reinstate significant missing historic features, including the original design of the colonnade at first and second floor levels within the central atrium and corncicing and ceiling detailing to match the original pattern.

1966 building

- remove the existing escalator from ground to second floor level and entrance lobby and install a new stair/lift core in the same location, partitions to form ancillary facilities at second floor level and a new internal access ramp on the ground floor.

3-9 Rose Street

- the proposed internal alterations are minor will have no effect on historic or architectural character, so these works do not require listed building consent.

2-12 Rose Street and 14-20 Rose Street

The proposed alterations to the Rose Street buildings form part of the associated application for planning permission (application reference 22/00326/FUL).

Signage

Any proposed external signage will form part of future applications for listed building consent and advertisement consent where required.

Supporting Information

- Planning Statement;
- Heritage and Townscape Statement;
- Design and Access Statement;
- Townscape and Visual Impact Assessment including verified views and
- Archaeological Written Scheme of Investigation.

Relevant Site History

98/02675/LBC
47-52 Princes Street
Edinburgh
EH2 2DF
Refurbishment of lower ground & 4th floor areas
Granted
20 November 1998

98/02678/LBC
47-52 Princes Street
Edinburgh
EH2 2DF
Formation of 5th floor beauty rooms
Granted
20 November 1998

02/00050/FUL

47-52 Princes Street

Edinburgh

EH2 2DF

Removal of existing projecting canopy over shop front, alterations to shop fronts and shop entrances and replacement of shop entrance signage

Granted

8 March 2002

03/00761/LBC

47-52 Princes Street

Edinburgh

EH2 2DF

Install edge lighting to three existing sets of 'Jenners' lettering at wallheads of original elevations (in retrospect)

Granted

20 May 2003

11/02683/LBC

47 - 52 Princes Street

Edinburgh

EH2 2DF

Installation of new facade lighting to Princes Street and South St David Street elevations (in retrospect).

Granted

13 January 2012

Other Relevant Site History

21/00233/ELBB

47-52 Princes Street

Edinburgh

EH2 2DF

Enforcement complaint regarding unauthorised removal of lettering depicting 'Jenners'

Case closed

20 May 2021

Pre-Application process

Pre-application discussions took place on this application.

Consultation Engagement

Historic Environment Scotland

Refer to Appendix 1 for a summary of the consultation response.

Publicity and Public Engagement

Date of Neighbour Notification: Not Applicable

Date of Renotification of Neighbour Notification: Not Applicable
Press Publication Date(s): 11 February 2022;
Site Notices Date(s): 8 February 2022;
Number of Contributors: 3

Section B - Assessment

Determining Issues

Due to the proposals relating to a listed building(s) within a conservation area, this application for listed building consent requires to be assessed against Sections 14 and 64 of the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997 (the "1997 Heritage Act"):

- Having due regard to HES Policy and guidance, do the proposals:
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 - a. harm a listed building or its setting? or
 - b. conflict with the objective of preserving or enhancing the character or appearance of the conservation area?
- If the proposals do comply with HES Policy and guidance, are there any compelling reasons (including but not limited to the public sector equality duty) for not approving them?
- If the proposals do not comply with HES Policy and guidance, are there any compelling reasons (including but not limited to the public sector equality duty) for approving them?

Assessment

To address these determining issues, it needs to be considered whether:

a) The proposals harm the listed building or its setting?

Section 59 (1) of the Planning (Listed Building and Conservation Areas) (Scotland) Act 1997 states:

"In considering whether to grant planning permission for development which affects a listed building or its setting, a planning authority or the Secretary of State, as the case may be, shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses."

The following HES guidance is relevant in the determination of this application:

- Managing Change: Reuse and Adaptation of Listed Buildings
- Managing Change: Roofs
- Managing Change: Interiors

Character of 47-52 Princes Street and 2-14 South St David Street

The conservation-led redevelopment of this iconic, landmark listed building in appropriate and sustainable long-term uses is welcomed. Any proposed significant removals/additions have been considered against the importance of retaining and restoring as much historic fabric as possible whilst providing necessary and sustainable facilities and services for the new uses. The supporting information is comprehensive and informative in terms of understanding the history and significance of the constituent parts of this former department store and assessing the proposed alterations and extensions.

Rooftop Additions and Associated Alterations

The most significant external alterations proposed are at roof level to accommodate hotel bedrooms, air handling units and a roof-top bar. A minimum number of hotel rooms are required in terms of commercial viability, given the additional costs associated with the sensitive conversion this category A listed building and the roof-top location of plant required for the new development is a deliberate strategy to protect the most significant internal historic spaces from damaging and intrusive service installations. Although the proposed new corner turret on the South St David Street/Rose Corner and rooftop extension/facade alteration on the Rose Street elevation are significant interventions, a hotel of the grand character proposed requires a feature space of equally high calibre. None of these significant extensions and alterations will harm the historic or architectural integrity of the listed building as demonstrated below.

The existing roofscape behind the wallhead detailing and mansard roof on the principal elevations is incoherent comprising an altered inner mansard (lead-covered), utilitarian/late coverings on the flat roof sections and added plant structures of functional, flat-roofed form and brick/render finish. These alterations and additions are of neutral or negative significance, so the removal of these later features and creation of a rational roofscape is acceptable in principle, on the basis that the added roof height and altered profile has no detrimental impact on historic or architectural character.

The proposed new sixth/seventh floor is of appropriate mansard form and materials, retaining the original masonry wallhead structures and a significant portion of the hipped roof structures behind. The Princes Street elevation will incorporate three new dormers on the upper roof pitch which follow the curved head design and general proportions of the historic dormer below and the 1920s' brattishing will be re-used along the new ridge line. Historic Environment Scotland advises that the new dormer windows should replicate the existing dormer window, but this could lead to confusion over original and modern fabric, so a sensitive interpretation of the original design is appropriate. Chimney pots will be reintroduced on the stacks to the west of the corner tower which will restore an original roofscape feature whilst emphasising the height of the historic building and reducing the visual impact of the new roofline. The added roof section nearest the corner tower on the South St David Street elevation has a hipped end to ensure that it does not impinge visually on this important structure and the massing of the remaining part of the roof extension will be broken up by the new stair core enclosures. A lead bull-nose detail will mark the line of the historic ridge height and create a horizontal division of the new external roof pitches in keeping with the general floor heights.

Whilst the extended roof will be visible from East Princes Street Gardens (see Viewpoint 8), North Bank Street (see Viewpoint 13) and Mound Place (see Viewpoint 12), current views are marred by the conspicuous and functional plant enclosures on the roof of the South St David Street section of the building and 1905 extension. The slated mansard roof of the added seventh floor will improve the appearance of the principal facade from these viewpoints. The South St David Street section of the extended roof will be most conspicuous from the Princes Street corner when viewed from the diagonally opposite side (see Viewpoint 10). However, only limited areas of this roof will be visible and will complement, rather than impinge on, the original wallhead features.

The most significant change proposed is the removal of the existing corner parapet and attic sixth floor of the 1905 block and construction of a new feature corner tower and full sixth floor. However, these alterations are justified given that there is historic evidence showing that the existing corner parapet and wallhead detailing on the Rose Street elevation are substantially pared down versions of the architect's originally intended designs.

The 1903 contract drawing depicts an elaborate masonry corner turret and chimney, different in design to the equivalent tower on the Princes Street/South St David Street corner. Historic Environment Scotland supports the principle of a recreated tower in keeping with the original intention. This approach is not always appropriate in terms of architectural conservation, but in cases where recreation is considered acceptable, replication of the original design would usually be specified. However, in this case, there is insufficient evidence of the detailing of the intended turret so any attempt at recreation would be pastiche and risk the structure being mistaken for an historic feature. The proposed tower of alternative form is therefore appropriate in principle.

The scale and detailed design of the proposed turret has been carefully considered in terms of respecting and maintaining the visual prominence of the original Princes Street/South St David Street turret and relationship to the historic architectural style in general. The final design reflects the general form, materials and detailing of the historic tower which comprises a sandstone octagonal structure distinct from the facade with a three-sided perimeter balcony, flying buttresses, hierarchical fenestration and a pinnacled roof parapet. However, the extent of elaboration has been subdued to be in keeping with the simpler ornamentation of the 1905 Rose Street facade and the masonry panels of the historic parapet will be re-used as feature details on the new parapet. The design proposed is sufficiently distinct from the original corner tower to avoid confusion regarding its age, but of appropriate detailing and refinement of construction for such a prominent position on this iconic listed building. The massing of the structure is greater than the tower originally proposed, but similar to the Princes Street corner tower. The overall height is proportionate to the height of the historic building as it rises from south to north on South St David Street and the simpler detailing will ensure that the new tower remains visually subservient to the principal tower. The new feature will also bring balance and symmetry to the South St David Street elevation which is missing in the existing form as built rather than originally intended. The Architectural Heritage Society of Scotland (AHSS) has questioned the construction material, annotated as "yellow" sandstone on the drawings, concerned that the tone will not match the existing 'buff' colour of the facade. However, the word "yellow" is standard terminology for warm-toned sandstones in the buff to yellow range and the exact specification will match the tone and petrographic properties of the original sandstone as closely as possible.

The Rose Street elevation of the 1905 block is a less elaborate interpretation of the Princes Street and South St David Street elevations, reflecting the original use of the extension as showrooms for furniture and large goods. Also, the historic architect's drawings show elaborate masonry wallhead features that were never built. The sixth floor as existing has a mansard roof to the front with simple pedimented timber dormers, so the loss of this fabric is acceptable and will enable the construction of a rooftop extension accommodating the required number of hotel bedrooms and feature space for the clientele. The proposed new vertical facade will be faced in sandstone to match the original stonework detailing but will be stepped back to minimise visual impact and emphasise the contrast between the old and new sections. This setback will also ensure that the wallhead of the added facade aligns with the ridge line of the historic mansard roof on South St David Street, allowing for the symmetrical composition of the new corner tower. The proposed windows will respect the dimensions, paired form and alignment of the original windows below.

The mansard roof form and ridge height of the added seventh floor will match that of the equivalent addition on South St David Street. Contemporary dormers are proposed to demarcate the modern age of this addition and are of appropriate scale, placement (on the central axes of the historic piers) and frequency to respect the rhythm of the original facades. The increase in scale compared to the existing dormers is acceptable on this secondary facade to take full advantage of the views from this added level and maximise daylight to the new feature space.

In terms of visual impact, the new corner tower, re-constructed sixth floor and added seventh floor will be most conspicuous from within St Andrew Square (see Viewpoints 4 and 5). The existing appearance of this roofline is defined by masonry facade details projecting above the eaves line at the corner with a mansard roof to the west. Whilst the proposed turret will noticeably increase the visual prominence of this roofscape, the essence of the constructed design will be preserved, and the new feature will create a version of the originally proposed tower that would have given the building a greater presence from within St Andrew Square. The visual impact of the historic architecture has been reduced by later adjacent developments on the square and the proposed corner turret will restore an appropriate prominence to this iconic listed building. The new masonry elevation at sixth floor level with mansard roofed floor above will sit well below the height of the corner tower and maintain an appropriate architectural composition similar to the existing arrangement.

On the rear of the 1905 block fronting Rose Street, twelve windows will be infilled with white glazed bricks to match the existing elevation. This utilitarian elevation is flanked by stair towers with later plantroom structures on top, so the infill of several windows is acceptable to accommodate the required number of new stair/lift cores. The paired central windows will remain with a new paired window above to punctuate the rear elevation of the added seventh floor and the surrounds of the infilled windows will remain in situ to demarcate their original position. The extended elevation will be a rationalised version of the existing, finished in materials to match the historic elevation (white glazed and red brick).

A similar rationalisation is proposed of the existing rear elevation of the 1895 building facing Princes Street, involving the removal of the infill floors above the ground floor mezzanine and existing lift enclosures and plant. The new cupola over the mezzanine level will match the original form and the new lift enclosure will avoid encroaching on the space above the skylight of the central atrium.

The west wing of the 1895 building is a functional part of the building, originally four storeys high with a fifth floor added as part of the 1905 extension. Architectural drawings from 1903 show that two additional storeys were intended, but never constructed. The proposed increase in height of the existing fifth floor, including the windows and addition of a sixth floor is acceptable in principle and will have no detrimental impact on the prominence of the original Princes Street facade when viewed from level or elevated positions. The window pattern will respect the original fenestration below and the courtyard elevation and external elevation will be finished in white glazed and red brick respectively to match the existing construction materials.

The overall visual impact of the proposed roofscape alterations on the character and appearance of the listed former Jenners store have been tested from key elevated viewpoints on the Castle Ramparts, Mound Place and North Bank Street (see Viewpoints 1, 12 and 14). Whilst the added volumes will be visible, particularly the added seventh floors on the South St David Street and Rose Street sections from Mound Place, the forms and finishes proposed will ensure that these new structures will be perceived as complementary, appropriately scaled and designed additions to the historic building which rationalise the current piecemeal and unsympathetic roofscape behind the primary facades and wallhead detailing.

Facade Alterations

These proposed works aim to enhance the existing external condition of the building by removing unsympathetic later alterations and either restoring the original pattern or introducing complementary new features. The intended grand appearance of the building will be brought up to a fitting standard through the proposed key alterations assessed in detail below and general restoration work, including comprehensive stonework repairs, the reinstatement of lost details, such as finials and chimney pots and the removal of services and other fixtures that are detrimental to the external appearance.

The modern doors at the main Princes Street entrance are squat in height with a deep blank infill panel above and their replacement with new glazed doors within a recessed glazed frame to reflect the finish and slim sections of the original entrance is a conservation gain. There is insufficient evidence of the precise detailing of the historic arrangement, so the proposed reinterpretation approach is acceptable and will follow the 1895 footprint.

Significant missing and altered elements of the original shopfronts on South St David Street will be restored, including the special prism glazing to stallrisers which has been painted or boarded over or replaced by ventilation grilles. This unique glazing, manufactured by Hayward Brothers and Eckstein, comprises opaque, obliquely cut glass which bends light through ninety degrees to direct daylight into interior spaces and is also within the ground floor windows of the west wing facing Rose Street Lane.

The removal of the existing paired windows and stone stallrisers on the South St David Street elevation is acceptable to accommodate fire exit doors serving proposed Stair 2, which is a firefighting core. The existing doors date with the 1905 extension and the new doors will be detailed to respect the current pattern.

The existing entrance in Rose Street is modern and replaced an original shop window, so the removal of the existing doors and reinstatement of a timber-framed display window with a granite cill and stall riser to match the original detailing will improve the appearance of the ground floor frontage on this prominent corner. The formation of a new hotel entrance on the Rose Street elevation involves the removal of two original shop windows, but this is an acceptable compromise given that this elevation is within the architecturally plainer section of the 1905 block. The proposed new metal-framed doors will respect the general proportions and transom heights of the original shop windows, although one side will contain a revolving door to minimise heat loss. An entrance canopy is proposed above these new doors to make the hotel entrance more visibly prominent and provide shelter for customers. The new structure will be restricted in length and projection (two metres outwards) and will have a simple, slender profile in darker-toned metal so the canopy will sit discreetly below the ground floor cornice and have minimal impact on the Rose Street elevation.

The proposed lighting fixings are small in scale and will be discreetly located on architectural ledges with stone-coloured upstands in front to further minimise any visibility. The façade-mounted luminaires will be small and appropriately specified to complement the historic façade and minimise conspicuousness.

Windows

The original windows have survived relatively intact throughout, partly as a result of being blocked over internally around the shopfloor perimeters in later years. The proposed strategy is to restore and reinstate all windows to the original glazing pattern and install internal secondary glazing to the hotel bedrooms. Prism glazing is a particularly special feature of this former department store and its restoration is a significant conservation gain, including the way natural light will once again be reflected into the building. The internal secondary glazing will comprise full panels in slimline frames to minimise visual impact externally and avoid any detrimental impact on the internal window reveals, which are generally plainly detailed. A condition has been applied to obtain further details of the proposed window treatment in any areas where there are elaborately detailed surrounds, such as the former Director's Suite at third floor level.

Interior

The original 1895 interior was organised as three blocks arranged around a central light well with relatively open basement to third floor levels for use as retail spaces, with more fragmented upper floors housing staff offices, accommodation, refreshment areas and workrooms. In terms of architectural hierarchy, the main entrance hall was originally an impressive top-lit double height space overlooked by a galleried tearoom. Jacobean styled timber stairs at the north end of the entrance hall let up into the focal point of the store - a grand, galleried atrium with an elaborate skylight and arcading on all levels.

Whilst many original architectural features and details remain, the historic interior has been compromised by the removal and concealment of some of the most significant elements, notably the ground floor mezzanine level within the entrance hall (floored over in the 1920s) and the main feature stair at the north end of the central atrium, removed during the construction of the 1905 extension.

The proposed retention of retail use within the principal frontage block of the 1895 building from basement to first floor level and introduction of food and drink use at second floor level will respect the original interior plan form in terms of maintaining relatively open spaces in these areas. New hotel rooms will be formed on the upper levels which were originally compartmentalised.

The restoration of the previously floored-over, ground floor mezzanine level and installation of a cupola to match the original form is a major conservation gain which will re-introduce a grand presence to the original entrance hall, which is a fitting introduction to the grand central atrium beyond. A decorative reinterpretation of the historic balustrade is appropriate in this context where only photographs exist of the original design and any attempt at reproduction would not be accurate. The proposed design follows the general proportions of the original balustrade with an appropriate level of elaboration and recognition of the historic detailing.

In terms of circulation, the original stairs were strategically located to draw shoppers to and through the ground floor retail space of the central atrium, where goods could be viewed on all levels, then up the grand stair at the north end to the retail levels above. The proposed works to the existing stairs, including the removal of all later and significantly modified historic stairs is to rationalise circulation patterns within the building, enable appropriate access for the interlinking building uses and ensure compliance with building regulations. The introduction of a new feature stair at the north end of the 1895 block, albeit not in the historic form, is both a significant conservation gain and a practical measure to reintroduce a visible connection from ground to second floor levels which is missing at present.

The north end of the central atrium has undergone changes at all levels since its original construction, notably the removal of the main stair in the early 1900s and insertion of a mechanical lift in the north-east corner which necessitated the extension of the first and second floor galleries and addition of load-bearing columns. The detailed design for the proposed grand stair has yet to be finalised, but the intention is to create an elegant, but distinct structure which will be legible as an entirely new feature whilst invoking the historic spatial character of the central atrium. This approach is appropriate in terms of architectural conservation, given the existing alterations to the original arrangement and need for accessibility which would make reconstruction of a stair to match the original form problematic. A condition has been applied to ensure that the final design and construction materials are appropriate. The removal of the later extensions to the gallery floorplates and supporting columns will further restore the original shape of the atrium gallery and the existing historic balustrades will be used to enclose the altered floor profiles. Another significant conservation gain within the central atrium is the proposed reintroduction of missing intermediate columns and associated arch detailing to match the original pattern.

Stair and Lifts

Regarding the existing stairs and lifts, the most significant element to be removed is the historic lift at the south end of the grand atrium. The loss of this lift is regrettable, but necessary to accommodate a new lift of acceptable standard in the space immediately behind within the front section of the 1895 building. The historic lift will be recorded and remnants of architectural detailing will be salvaged and re-used within the building as appropriate. The proposed moving of the original stair up to the lift slightly to the west will have minimal impact on the original appearance of the atrium at its south end. The only stair of any historic interest affected by the proposed internal works is a later, earlier 20th century addition at the north-east end of the atrium, although its exact date is not known. The removal of the ground to first floor section of this stair is an acceptable level of alteration to accommodate the new centrally located feature stair.

Ceilings

A strategy has been proposed for the incorporation of required services within the building whilst preserving and respecting the decorative and significant historic coffered ceilings within the principal areas of the original building. The most elaborate ceilings are within the area which originally housed the tearoom on the ground floor mezzanine and the decorative plasterwork, including relief thistles and roses, will be restored without any disruption from service installations. In areas where the downstands, cornicing and areas in between are more plainly detailed, lowered ceilings will be installed following the original profiles to create voids in which to conceal new services. This is the most appropriate solution to accommodating the required level of servicing without disrupting the original parquet flooring which is applied directly to the concrete slab. Also, the original appearance of the coffered ceilings will be maintained whilst preserving the historic fabric above.

The proposed works to the basement and upper floors of the 1895 building will have minimal impact on the historic character of these areas and include conservation gains, such as the restoration of the original elongated lightwells within the basement ceilings and detailing within the former Director's Suite at third floor level. The historic division of this important suite will remain demarcating separate living areas within a new hotel suite.

As regards the interior of the 1905 block, this was built with plainly detailed, open-plan floorplates to accommodate furniture and large goods, so the extent of alterations proposed, including the removing of the existing ground floor and insertion of new ground floor to tie in with the level of the new hotel entrance on Rose Street, is appropriate to its functional character. Similarly, the removal of the existing lift and stair on the south side of the block and insertion of a new centrally located lift/stair core will have no detrimental impact on historic or architectural character. Partitions to form hotel bedrooms will be erected from second to sixth floor level and will meet the external walls without any physical or visual impact on the external windows.

Character of 50-52 Princes Street

This 1960's building is category A listed as part of the history of the growth and expansion of the former Jenner's store but is not of the equivalent historic or architectural significance as an individual structure. The pins securing the sandstone cladding on the facade are later, conspicuous fixings introduced when the original fixing method failed.

Whilst the proposed double-height ground floor facade is a significant alteration to the existing elevation, the essence of the frontage will be maintained through simple, rectangular openings and external finish re-using the original sandstone cladding where possible and introducing new sandstone cladding to match the original Craighleith type where additional materials are required.

There are no significant internal architectural features, so the proposed works to form ramped access within the ground floor retail area and new stairs and lifts to access ground to second floor levels are acceptable.

Conclusion in relation to the listed building

The proposed works will respect and reinvigorate the former iconic department store in its original retail use combined with new uses which will fit the architectural character of the historic buildings externally and internally. The elaborate masonry facades will be restored with alterations in keeping with the historic and architectural character and the existing, altered roofscape will be rationalised and extended sensitively. Important missing elements of the historic interior will be reintroduced in a respectful, contemporary manner, existing original features will be restored, and natural light will be let into the building. The new feature corner tower will announce a significant new phase of the building's history and improve its physical presence from within St Andrew Square.

Conditions have been applied to ensure that the specifications of all proposed external materials and detailing/materials of the new grand stair are appropriate and also to ensure that significant historic remnants are recorded and re-used within the new development where possible.

The proposals are acceptable in terms of the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997 and relevant HES guidance.

b) The proposals harm the character or appearance of the conservation area?

Section 64(1) of the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997 states:

"In exercise, with respect to any buildings or other land in a conservation area, of any powers under any of the provisions in subsection (2), special attention shall be paid to the desirability of preserving or enhancing the character or appearance of that area."

The New Town Conservation Area Character Appraisal identifies the key characteristics of the First New Town as:

- *" Georgian and early Victorian rectilinear development of grand formal streets lined by fine terraced building expressing neo-classical order, regularity, symmetry, rigid geometry, and a hierarchical arrangement of buildings and spaces with controlled vistas and planned views; and*
- *the important feature of terminated vistas within the grid layouts and the long-distance views across and out of the conservation area."*

The character and appearance of this section of Princes Street will be preserved and enhanced through the sensitive re-development of this iconic, category A listed former department store in a sustainable and viable use.

The proposed development will have no impact on the historic plan form of this block. Whilst not insignificant in scale, the proposed rooftop additions will not alter the essential hierarchical urban plan form of the First New Town nor interfere with its important vistas and views to any detrimental extent, even although existing views from street level and elevated locations will change.

Verified views of the proposed development have been produced from a series of key vantage points. The three locations which best illustrate the effect of the development on the existing hierarchy of buildings are from the Castle Ramparts and Mound Place looking north-east (see Viewpoints 1 and 12) and North Bank Street looking north (see Viewpoint 13). The photomontages from these positions show that the added elements will have an impact on the existing views, but this impact will be positive or neutral, rather than negative, bearing in mind that every view is transient.

When constructed, the 1895 Jenners building was imposing in its context, being a building of significant scale and the addition of the 1905 block produced a consistent structural mass extending the depth of the corner block between Princes Street, South St David Street and Rose Street, with front and rear blocks of equal height. The central lightwell was the only break in this massing and will remain as such in the proposed development. The construction of large-scale buildings of significant height and massing in St Andrew Square since the mid-20th century, including those adjacent to the Jenners building, has reduced the hierarchical supremacy of this important listed building, so the proposed rooftop additions and new corner tower in particular will re-establish the building's presence when viewed from within the square. As the iconic former Jenners store is a key building on Princes Street within the heart of the First New Town, the promotion of the historic structure within its current contemporary architectural context will enhance the character of the conservation area.

The existing roofscape of the Jenners building and the adjacent Mount Royal hotel from elevated viewpoints is an unsightly conglomeration of ad hoc plant enclosures of utilitarian form and variety of finishes which neither relate well to the buildings below nor complement the elaborate masonry wallhead features of the 1895 Jenners store. The proposed rationalised roofscape, albeit of greater massing than the existing fragmented roofscape, will improve the visual appearance of the buildings from elevated viewpoints due to the sympathetic forms and materials specified. The precise finishes and tones of these materials have been conditioned to ensure that the constructed roofscape will be as visually intrusive as possible.

The existing and proposed views of the site looking east and west along Princes Street and from within Princes Street Gardens will not change to any extent that would affect the essential appearance of the First New Town. The other proposed external alterations, in particular the restoration of historic shopfront detailing and carefully designed interventions, will preserve and enhance the character and appearance of the conservation area at street level.

Conclusion in relation to the conservation area

The proposed external alterations and extensions are sensitively designed and will either preserve or enhance the character and/or appearance of the New Town Conservation Area.

The proposals are acceptable in terms of the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997.

c) there are any other matters to consider?

The following matters have been identified for consideration:

Archaeological remains

The site lies within an area of considerable archaeological significance, at the eastern end of Princes Street and within the First New Town and World Heritage Site. The existing buildings, dating from the late 19th century onwards, were preceded by the original Jenners store, founded in 1838 which occupied a range of converted Georgian Town houses destroyed by fire in 1892.

The proposals will require alterations to the existing building which contains significant historic architectural features and will reveal important elements of the store's development. Accordingly, a condition has been applied to ensure that a programme of archaeological work (historic building survey and public engagement programme) is undertaken during development to provide a detailed record of these features and ensure that the conservation of key elements, such as the former tearoom ceiling, is carried out in an appropriate manner.

Equalities and human rights

Due regard has been given to section 149 of the Equalities Act 2010. The development respects the provisions of the Act by including accessible access throughout the building.

Consideration has been given to human rights. No impacts have been identified through the assessment and no comments have been received in relation to human rights.

Public representations

A summary of the representations is provided below:

material considerations

- the proposed material for the construction of the new tower is specified as 'yellow' sandstone, rather than matching the existing 'buff' colour of the façade; and
- wholesale stonecleaning of the façade risks damage if not carried out carefully, so conditions should be applied requiring prior testing and limiting cleaning to necessary areas only.

These comments are addressed in section a) of the assessment and in a condition on stonecleaning.

support comments

- the proposed development is a thoughtful and sensitive reimagining of this iconic city centre building, which will bring the building back to life for future generations.

non-material considerations

- overshadowing and
- noise generation.

Conclusion in relation to other matters considered

The proposals do not raise any issues in relation to other material considerations identified.

Overall conclusion

The proposals comply with Sections 14 and 64 of the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997. There are no material considerations which indicate that the proposal should be refused. Therefore, the proposals are acceptable.

Section C - Conditions/Reasons/Informatives

The recommendation is subject to the following;

Conditions :-

1. A programme of archaeological works, in the form of a historic building survey before and during construction works and public engagement programme, shall be undertaken to record and promote any significant archaeological remains. These works shall also include a detailed conservation plan for any proposed restoration works to key historic features, such as the former tearoom ceiling. Details of this programme shall be submitted to and approved in writing by the Planning Authority, having first been agreed by the City Archaeologist.
2. Any significant historic remnants, such as original lift-cage panels, bronze and glass display cases and early 20th century metal fire doors, shall be re-used within the new development where possible and details of the proposed new locations shall be recorded and submitted to the Planning Authority.
3. A detailed specification, including trade names where appropriate and sources, of all the proposed external materials shall be submitted to and approved in writing by the Planning Authority before the construction of the new elements hereby approved are commenced on site; Note: samples of the materials may be required.
4. Details of the proposed design and construction materials of the new feature stair at the north end of the central atrium shall be submitted to and approved in writing by the Planning Authority before work is commenced on site.
5. Details of any proposed secondary glazing affecting elaborately detailed window surrounds shall be submitted to and approved in writing by the Planning Authority before work is commenced on site.
6. Details of any proposed areas of stonecleaning and the proposed method shall be submitted to and approved in writing by the Planning Authority before work is commenced on site.

Reasons:-

1. In order to safeguard the interests of archaeological heritage.
2. In order to retain and/or record important elements of the architectural history of the listed building.
3. In order to enable the planning authority to consider this/these matter/s in detail.
4. In order to enable the planning authority to consider this/these matter/s in detail.
5. In order to enable the planning authority to consider this/these matter/s in detail.
6. In order to enable the planning authority to consider this/these matter/s in detail.

Informatives

It should be noted that:

1. The works hereby permitted shall be commenced no later than the expiration of three years from the date of this consent.

Background Reading/External References

To view details of the application go to the Planning Portal

Further Information - [Local Development Plan](#)

Date Registered: 28 January 2022

Drawing Numbers/Scheme

01-62

Scheme 1

David Givan
Chief Planning Officer
PLACE
The City of Edinburgh Council

Contact: Clare Macdonald, Senior Planning Officer
E-mail: clare.macdonald@edinburgh.gov.uk

Summary of Consultation Responses

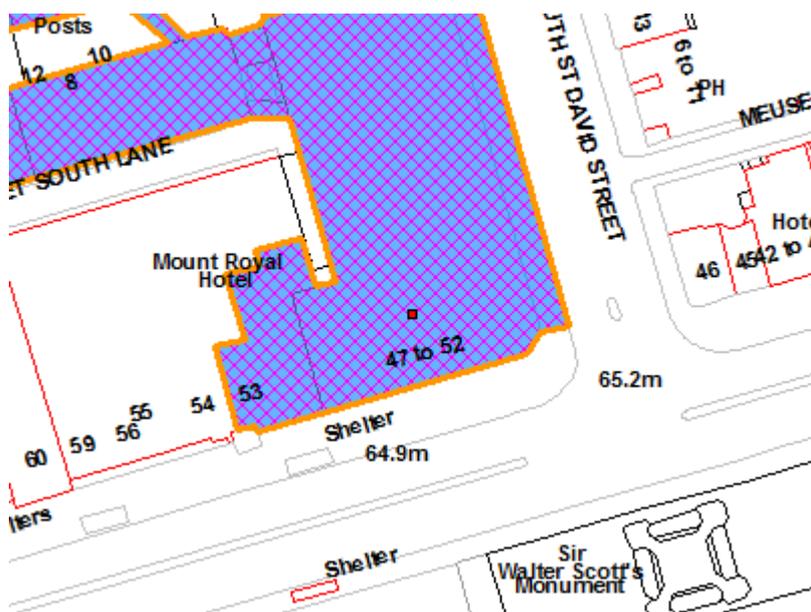
NAME: Historic Environment Scotland

COMMENT: HES supports the proposals for the former Jenners store. The scheme will retain the significance, and revitalise the use, of Edinburgh's best known department store, whilst safeguarding the future use and maintenance for a category A listed building in Princes Street, in an era of retail transition. Some further thought could be given to the detailed design of the tower element, but the principle is supported. Internally, the proposals are a sensitive approach to the building, with any losses balanced out by the significant conservation gains of repair and restoration. A condition should be added regarding the reuse of salvaged material in the building.

DATE: 4 March 2022

The full consultation response can be viewed on the Planning & Building Standards Portal.

Location Plan



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