

Business Centre G.2 Waverley Court 4 East Market Street Edinburgh EH8 8BG Email: planning.support@edinburgh.gov.uk

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100517500-003

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

Applicant or Agent Details

Are you an applicant or an agent? * (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

Applicant Agent

Agent Details

Please enter Agent details

Company/Organisation:	AGORA architecture + design		
Ref. Number:		You must enter a Building Name or Number, or both: *	
First Name: *	Lorna	Building Name:	
Last Name: *	Agorastos	Building Number:	14
Telephone Number: *	0131 2585686	Address 1 (Street): *	Brighton Place
Extension Number:		Address 2:	Portobello
Mobile Number:		Town/City: *	Edinburgh
Fax Number:		Country: *	United Kingdom
		Postcode: *	EH15 1LJ
Email Address: *	lorna@agora-ad.com		

Is the applicant an individual or an organisation/corporate entity? *

Individual Organisation/Corporate entity

Applicant Details

Please enter Applicant details

Title:	<input type="text" value="Ms"/>	You must enter a Building Name or Number, or both: *	
Other Title:	<input type="text"/>	Building Name:	<input type="text" value="Flat 5"/>
First Name: *	<input type="text" value="Allison"/>	Building Number:	<input type="text" value="25"/>
Last Name: *	<input type="text" value="Jenkins"/>	Address 1 (Street): *	<input type="text" value="Gillespie Crescent"/>
Company/Organisation	<input type="text"/>	Address 2:	<input type="text"/>
Telephone Number: *	<input type="text"/>	Town/City: *	<input type="text" value="Edinburgh"/>
Extension Number:	<input type="text"/>	Country: *	<input type="text" value="United Kingdom"/>
Mobile Number:	<input type="text"/>	Postcode: *	<input type="text" value="EH10 4HU"/>
Fax Number:	<input type="text"/>		
Email Address: *	<input type="text" value="REDACTED"/>		

Site Address Details

Planning Authority:	<input type="text" value="City of Edinburgh Council"/>
Full postal address of the site (including postcode where available):	
Address 1:	<input type="text" value="3F1"/>
Address 2:	<input type="text" value="25 GILLESPIE CRESCENT"/>
Address 3:	<input type="text" value="BRUNTSFIELD"/>
Address 4:	<input type="text"/>
Address 5:	<input type="text"/>
Town/City/Settlement:	<input type="text" value="EDINBURGH"/>
Post Code:	<input type="text" value="EH10 4HU"/>

Please identify/describe the location of the site or sites

Northing	<input type="text" value="672579"/>	Easting	<input type="text" value="324749"/>
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Description of Proposal

Please provide a description of your proposal to which your review relates. The description should be the same as given in the application form, or as amended with the agreement of the planning authority: *
(Max 500 characters)

Alterations to existing dormer windows to rear of property, along with creation of inset balcony, new roof windows, and associated internal alterations.

Type of Application

What type of application did you submit to the planning authority? *

- Application for planning permission (including householder application but excluding application to work minerals).
- Application for planning permission in principle.
- Further application.
- Application for approval of matters specified in conditions.

What does your review relate to? *

- Refusal Notice.
- Grant of permission with Conditions imposed.
- No decision reached within the prescribed period (two months after validation date or any agreed extension) – deemed refusal.

Statement of reasons for seeking review

You must state in full, why you are seeking a review of the planning authority's decision (or failure to make a decision). Your statement must set out all matters you consider require to be taken into account in determining your review. If necessary this can be provided as a separate document in the 'Supporting Documents' section: * (Max 500 characters)

Note: you are unlikely to have a further opportunity to add to your statement of appeal at a later date, so it is essential that you produce all of the information you want the decision-maker to take into account.

You should not however raise any new matter which was not before the planning authority at the time it decided your application (or at the time expiry of the period of determination), unless you can demonstrate that the new matter could not have been raised before that time or that it not being raised before that time is a consequence of exceptional circumstances.

See attached document - Supporting Statement

Have you raised any matters which were not before the appointed officer at the time the Determination on your application was made? *

Yes No

If yes, you should explain in the box below, why you are raising the new matter, why it was not raised with the appointed officer before your application was determined and why you consider it should be considered in your review: * (Max 500 characters)

Please provide a list of all supporting documents, materials and evidence which you wish to submit with your notice of review and intend to rely on in support of your review. You can attach these documents electronically later in the process: * (Max 500 characters)

Supporting Statement Drawings as originally submitted: PL01 Location Plan, PL02 Existing floor plans, PL03 Existing rear elevation, PL04 Proposed first floor plan, PL05 Proposed roof plan, PL06 Proposed rear elevation, PL07 Proposed rear elevation (extract behind chimney) Design and Access Statement (as originally submitted)

Application Details

Please provide the application reference no. given to you by your planning authority for your previous application.

21/06715/FUL

What date was the application submitted to the planning authority? *

21/12/2021

What date was the decision issued by the planning authority? *

22/03/2022

Review Procedure

The Local Review Body will decide on the procedure to be used to determine your review and may at any time during the review process require that further information or representations be made to enable them to determine the review. Further information may be required by one or a combination of procedures, such as: written submissions; the holding of one or more hearing sessions and/or inspecting the land which is the subject of the review case.

Can this review continue to a conclusion, in your opinion, based on a review of the relevant information provided by yourself and other parties only, without any further procedures? For example, written submission, hearing session, site inspection. *

Yes No

In the event that the Local Review Body appointed to consider your application decides to inspect the site, in your opinion:

Can the site be clearly seen from a road or public land? *

Yes No

Is it possible for the site to be accessed safely and without barriers to entry? *

Yes No

If there are reasons why you think the local Review Body would be unable to undertake an unaccompanied site inspection, please explain here. (Max 500 characters)

The rear elevation number 25 cannot be seen from roads or public property. Access to the rear garden can be arranged.

Checklist – Application for Notice of Review

Please complete the following checklist to make sure you have provided all the necessary information in support of your appeal. Failure to submit all this information may result in your appeal being deemed invalid.

Have you provided the name and address of the applicant?. *

Yes No

Have you provided the date and reference number of the application which is the subject of this review? *

Yes No

If you are the agent, acting on behalf of the applicant, have you provided details of your name and address and indicated whether any notice or correspondence required in connection with the review should be sent to you or the applicant? *

Yes No N/A

Have you provided a statement setting out your reasons for requiring a review and by what procedure (or combination of procedures) you wish the review to be conducted? *

Yes No

Note: You must state, in full, why you are seeking a review on your application. Your statement must set out all matters you consider require to be taken into account in determining your review. You may not have a further opportunity to add to your statement of review at a later date. It is therefore essential that you submit with your notice of review, all necessary information and evidence that you rely on and wish the Local Review Body to consider as part of your review.

Please attach a copy of all documents, material and evidence which you intend to rely on (e.g. plans and Drawings) which are now the subject of this review *

Yes No

Note: Where the review relates to a further application e.g. renewal of planning permission or modification, variation or removal of a planning condition or where it relates to an application for approval of matters specified in conditions, it is advisable to provide the application reference number, approved plans and decision notice (if any) from the earlier consent.

Declare – Notice of Review

I/We the applicant/agent certify that this is an application for review on the grounds stated.

Declaration Name: Mrs Lorna Agorastos

Declaration Date: 11/05/2022

STATEMENT OF APPEAL

Purpose: Application for Local Review

Client: Dr and Mrs Jenkins

Project: Alterations to existing dormer windows to rear of property, along with creation of inset balcony, new roof windows, and associated internal alterations at 3F1 25 Gillespie Crescent, Edinburgh, EH10 4HU

Application reference: 21/06715/FUL

BACKGROUND

We request a review of application 21/06715/FUL Alterations to existing dormer windows to rear of property, along with creation of inset balcony, new roof windows, and associated internal alterations at 3F1 25 Gillespie Crescent, Edinburgh, EH10 4HU.

The application was submitted on 21st December 2021 and the decision to refuse was issued on 22nd March 2022.

The basis for the decision was that the proposals were considered to be contrary to Section 64 of the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997, as well as LDP policies Env 6, Des 5 and Des 12. Therefore, the proposals were assessed as being contrary to the overall objectives of the Development Plan.

We intend to respond to these in turn, and explain why we would like the decision to be reviewed.

We enclose the Design and Access Statement which formed part of the original application. This provides information about the site context, the brief, and the proposed solution. We also enclose all drawings submitted as part of the application.

IMPACT ON THE CHARACTER AND APPEARANCE OF THE CONSERVATION AREA

The site sits within the Marchmont, Meadows & Bruntsfield Conservation Area, on Gillespie Crescent. All external alterations proposed are to the rear of the property, so the elevation to Gillespie Crescent will remain unaltered.

Gillespie Crescent is a particularly handsome street, and contributes to the overall character of the Conservation Area. To the north (rear) of Gillespie Crescent is Gilmore Place which, while containing some instances of high quality architecture, has a more varied character. Between Gillespie Crescent and Gilmore Place are a number of smaller streets and, directly to the north of the site, Darroch House (formerly James Gillespie's School) and a former care home (originally the Catholic Convent of Our Lady of the Poor) which is in the process of being converted to student accommodation.

The handling report notes that Gillespie Crescent is at a higher level and, together with the adjoining tenements, is easily visible in the conservation area, particularly from the rear. The front elevation of Gillespie Crescent is highly visible and contributes a great

deal to the character of the area. However, the rear elevation is not easily visible from surrounding streets. The eastern section of the rear elevation of the tenements is visible from Hailes Street, but the western section is only visible from the rear windows of the tenements on Gilmore Place.



View along Hailes Street from Gilmore Place



View from Hailes Street



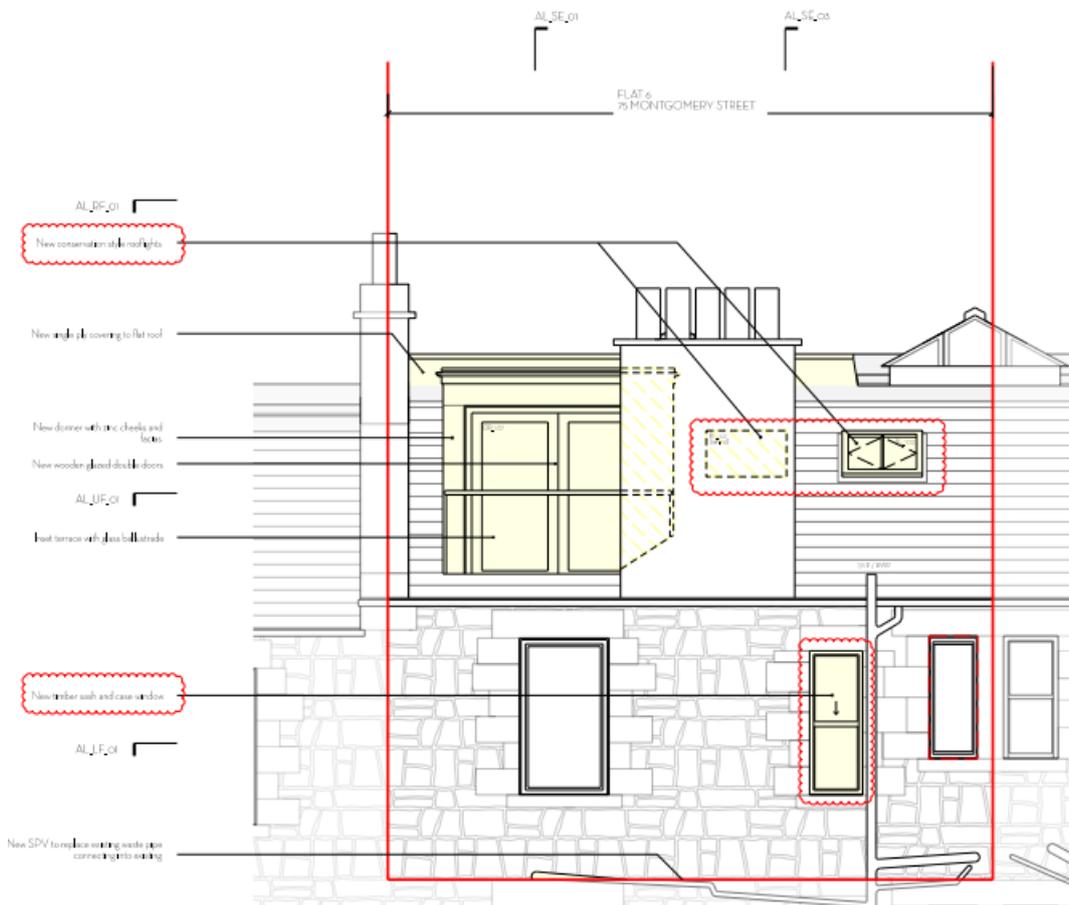
View from Gilmore Place (adjacent to number 47)

The handling report refers to the compositional unity of the roofscape, stating that this is reinforced by the few rear dormers being of a traditional design, type and materials. There are a wide variety of dormers already present along the rear elevation of Gillespie Crescent. The majority of properties to the eastern (more visible) side of the crescent have no dormers, while towards the west dormers are more common. The majority are traditional in form, however number 31 has a full width, flat roofed dormer extending almost to the eaves. Number 28 has two smaller dormers, one of which has a rectangular form, with a horizontal rather than a vertical orientation.

The "traditional" dormers already present at number 25 have flat roofs, level with the ridge of the main roof. While they have canted bay windows, their design and the materials used are not traditional. They have felt flat roofs, and UPVC windows and fascias. These are not materials compatible with a conservation area.

The proposed dormers are no wider or taller than those already present. The dormer containing the inset balcony extends closer to the roof edge than the existing dormer, however the slate roof will be visible below it. The dormers do not line through with the existing fenestration; however, these are direct replacements for existing dormers. The majority of the dormers along the rear elevation of Gillespie Crescent do not align with the fenestration below.

The handling report notes that the introduction of balconies and modern dormers could create a precedent. As noted above, modern dormers are already present on the crescent. The balcony would be the first on this crescent. However, modern balconies of a very similar design have been approved on traditional tenements within other conservation areas in Edinburgh. The consented scheme at 75 Montgomery Street (20/01622/FUL and 20/01623/FUL) is particularly relevant as it adds two zinc dormers, each with an inset balcony, and velux windows to a traditional tenement within the New Town Conservation Area. There are similar examples within the New Town Conservation Area, at 87 Brunswick Street and 62 Montgomery Street.



Consented scheme at 75 Montgomery Street



Dormers at balconies at 62 Montgomery Street

While not within the Marchmont, Meadows & Bruntsfield Conservation Area, these are similar building types, where contemporary additions have been consented to the rear elevation. These were deemed to be of an acceptable scale which does not dominate the form of the roof or result in a visually dominant feature.

There are examples of contemporary dormers within the Marchmont, Meadows & Bruntsfield Conservation Area. Only metres from this site, on Upper Gilmore Place, are mews houses of a contemporary design. One includes zinc dormers on all four elevations. On Gilmore Place, number 59 has recently received approval for contemporary dormers to both the front and rear elevations, both of which are more highly visible than our proposal.



Contemporary mews housing on Upper Gilmore Place



Contemporary dormer at 59 Gilmore Place

Directly adjacent to the site, parts of the listed convent have been demolished to accommodate new student housing. The design of the new buildings is distinctly modern, with standing seam metal roofs and dormer windows. As noted in the handling report, these buildings are different in character to the traditional tenements. However, they do set a precedent for contemporary design using materials such as standing seam metal in the area.



View of new student housing development from the site

A high quality, contemporary approach has been accepted in Conservation Area settings, some of which are arguably more sensitive. As explained above, the rear elevation of Gillespie Crescent is neither highly visible, nor particularly uniform. We feel that modern additions in high quality materials will add to the richness of the area, and will have no detrimental impact on the character of the Conservation Area.

We therefore disagree with the conclusion that "the cumulative impact of the two dormers, and roof terrace/balcony would harm the special character of this prominent roofscape and crescent building and the wider character and appearance of the Conservation area."

COMPLIANCE WITH THE DEVELOPMENT PLAN

Scale, form, design and neighbourhood character

The proposed dormers would be similar in proportion to the existing dormers. The rectilinear form of the proposed dormers is already represented by a number of dormers along the rear elevation of Gillespie Crescent. The existing canted dormers have flat felt roofs and UPVC windows and fascias. They do not harmonise with the dimensions and character of the building's front elevation.

As previously noted, the dormers sit at ridge height, as per the existing dormers. They do not align with the existing fenestration on the elevation, as they directly replace the existing dormers.

The handling report notes that "This proposal would introduce a roof terrace on a tenemental building in close proximity to neighbours. Whilst the terrace has communal gardens and there are already significant levels of overlooking of the communal spaces, this proposal would introduce private outdoor space in close proximity to neighbours living accommodation and result in increased noise, and a loss of privacy to the detriment of their amenity."

The neighbouring top floor flats at number 25 and 28 do not have accommodation within the roofspace. The balcony would not be in close proximity to neighbours' living accommodation.

The nearest neighbouring windows are a storey below. The relationship between the proposed balcony and the neighbouring windows is no different to the three consented schemes at Montgomery Street and the one at Brunswick Street, where the external terrace was deemed to be "a small addition and would not have any adverse effect in terms of privacy intrusion or overlooking of neighbouring properties".

Numbers 82 (08/02746/FUL) and 87 (18/01688/FUL) Bruntsfield Place include inset roof terraces. The Handling Report for number 87 raises no concerns about loss of privacy to neighbouring properties.

EQUALITIES AND HUMAN RIGHTS

As acknowledged in the handling report, the occupant of the property has mobility issues and the primary driver for the project is to allow the family to remain in their home. Dr Jenkins has early on-set Parkinsons, which is a degenerative condition. Currently, he can negotiate stairs and use the entirety of the flat most days. However, this is becoming increasingly difficult and there are days when he needs to stay on the upper level.

The applicants are already investigating other ways to make the property more accessible, such as platform lifts. However, they want to ensure that the upper floor of the property is bright and well ventilated, with a view and access to outside space. The current dormers have high cills and small windows. The upstairs rooms are therefore dark, and the views are restricted.

The proposals will introduce additional glazing in the form of velux windows, as well as bringing glazing to floor level where the balcony is formed. This will improve views from the bedroom, and allow views from the bed, as well as bringing in more light. The provision of a balcony will also allow Dr Jenkins access to a small outdoor space. The second dormer will allow the creation of an accessible bathroom with adequate headroom throughout, as required under building regulations.

The handling report notes that "Whilst it is understood that level access to outdoor space would be beneficial to the applicant, this needs to be weighed against the impact of these proposals on the historic environment. In this case it is not considered that this material consideration should outweigh the harm that would be caused to the character and appearance of the conservation area. Due regard has been given to section 149 of the Equalities Act 2010."

As described above, we do not feel that the proposals will cause harm to the character and appearance of the conservation area. We do not feel that adequate consideration has been given to the Equalities Act and to Dr Jenkins' needs.

SUMMARY

While we understand the need for guidance and restrictions on development within the Conservation Area, we feel that these small scale interventions will have no negative impact on the Conservation Area. This is not a highly visible elevation: in fact it is largely hidden from public view. It is also not an elevation with compositional unity, as there have been various additions over the years: some traditional, some more contemporary in design. Nor is it a particularly sensitive setting, given the large amount of new development immediately adjacent to it.

There will be no loss of privacy, daylight or amenity to neighbouring properties. The balcony is not immediately adjacent to another residential property and will therefore not result in loss of privacy and increased noise.

We therefore feel that this family home should be allowed to adapt to suit their specific needs, and to allow them to continue to live in the place they have called home for 7 years. Historically, there has been a great deal of change within these particular properties, and in the wider area. We feel our proposal continues this tradition of carrying out sensitive alterations to suit the changing needs of residents.

The proposals will cause no harm to the character and appearance of the Conservation Area. Similar development has taken place in this and other Conservation Areas, without causing harm. In fact, these high quality additions have enriched the area. We feel that our proposal will make a positive contribution to the area.



25/5 Gillespie Crescent, Edinburgh : Design + Access Statement

December 2021
for Dr and Mrs Jenkins

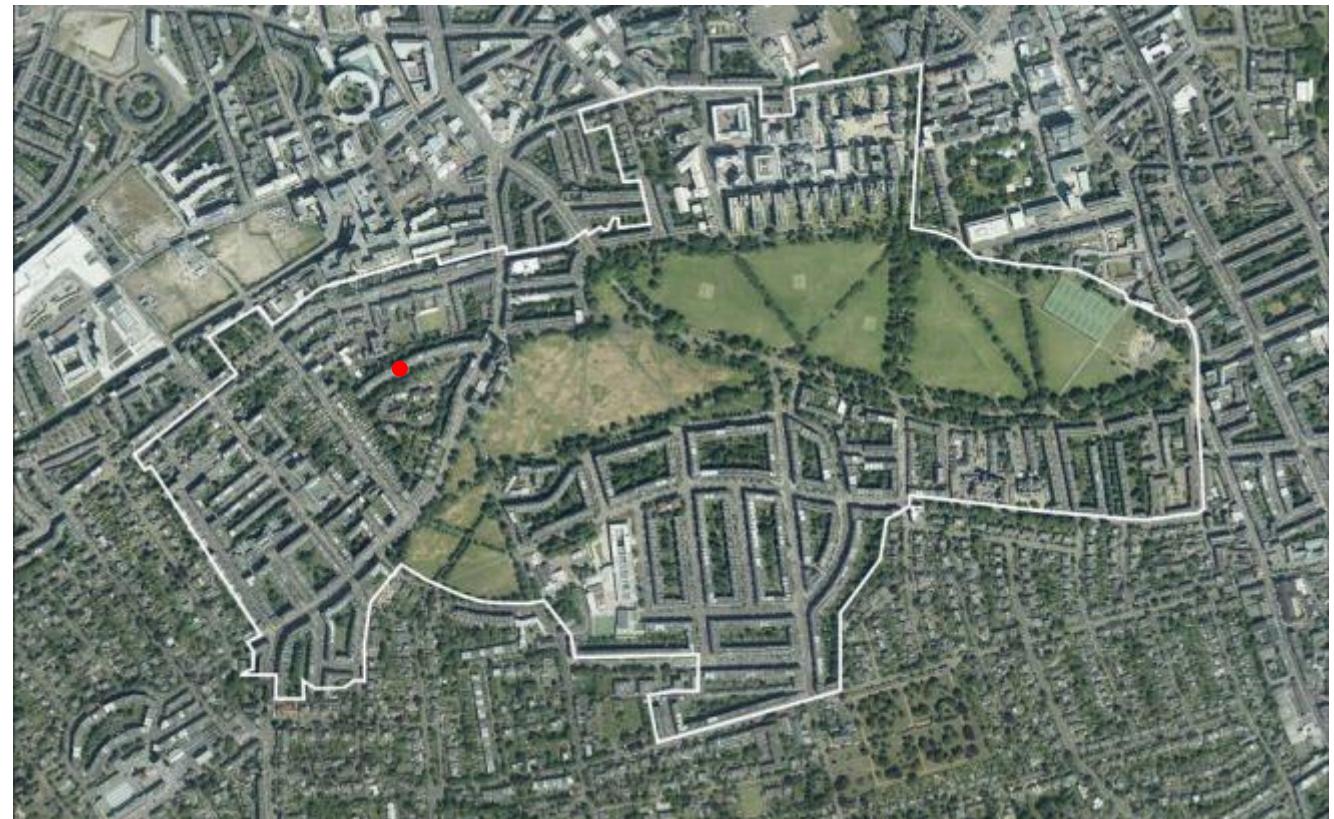
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architecture + design

1.0 Site details

- 1.1 25 Gillespie Crescent is located to the south of Edinburgh city centre, in the established residential area of Bruntsfield. Gillespie Crescent is a non-through road, accessed from Bruntsfield Place / Gillespie Place, and running roughly parallel to Gilmore Place.
- 1.2 Gillespie Crescent sits within the Marchmont, Meadows & Bruntsfield Conservation Area. To the north of the property is the old James Gillespie School, and a former care home. These are both currently construction sites, with Darroch House (formerly James Gillespie's School) becoming a Gaelic School, and the former care home site being redeveloped as student accommodation. To the south of the property, and accessed from Gillespie Crescent, is Viewpoint Housing Association, a post-war development of low-rise housing.
- 1.3 The area is well served by shops and restaurants and is within walking distance of the city centre. There is a regular bus service along Bruntsfield Place
- 1.4 25 Gillespie Crescent is a duplex flat over the top two floors of a 4 storey (plus attic level) tenement. The property is accessed from Gillespie Crescent, via a communal stair. There is a shared garden to the rear (north-west), surrounded by stone boundary walls. The property is unlisted and is part of a handsome Victorian stone tenement. The buildings have bay windows to the street, with three windows per flat to the rear, and a prominent chimney on the rear roofline.
- 1.5 The flat is privately owned and the attic level has previously been converted to provide four bedrooms, a bathroom and an en-suite. The bedrooms to the front are served by dormer windows, and the two rear bedrooms have a dormer each. The hall, ensuite and stairs all have rooflights to bring in natural light. At the lower level is a kitchen, family room, study and living room.
- 1.6 The height of the building means that the rear dormers are just visible from the garden belonging to the flat. They are not visible from any other public road.



Gillespie Crescent



Marchmont, Meadows + Bruntsfield Conservation Area, showing location of 25 Gillespie Crescent

2.0 The brief

- 2.1 The clients are a family of three, who have owned and lived in the property since 2015. The youngest member of the family attends school locally, and the family enjoy living in a vibrant central location.
- 2.2 Dr Jenkins was diagnosed with early on-set Parkinsons in 2006. He is currently able to negotiate the communal stair to the flat, as well as the internal stair to the attic level. However, the family realise that this will not always be the case. With a recent deterioration of his condition, they are considering having a compact lift installed within the communal stair to ensure the flat remains accessible to Dr Jenkins. They would also like to ensure the layout of the flat provides spaces more suited to the family's current and future needs.
- 2.3 At present the top floor bedrooms are not of a size to allow a comfortable seating area. Having a larger master suite would allow Dr Jenkins to have a seating area at the attic level, should he feel too tired to use the stairs.
- 2.4 A fully accessible bathroom at the top floor would future proof the layout.
- 2.5 The current rear dormers do not take advantage of the view to the castle. If Dr Jenkins is to spend more time in the attic level rooms, he would like to enjoy the view, and have lots of natural light.
- 2.6 The provision of a small balcony would allow Dr Jenkins use of an outdoor space, should access to the garden prove difficult.



Rear elevation : photograph and survey drawing



3.0 The proposal

- 3.1 The two rear bedrooms and ensuite are proposed to be combined to create a large master suite. This will involve removal of non-structural internal walls, as well as forming new lightweight partitions. An accessible en-suite bathroom will be created behind the current family bathroom.
- 3.2 To maximise light to the bedroom, and to provide views, we propose removing the coomb wall, and extending the bedroom area further into the eaves. Two new roof windows are proposed, running from near floor level, to 2m above the floor. These will be conservation type windows (Fakro or similar).
- 3.3 We propose replacing the existing dormers with new zinc clad dormers of similar proportions. One will serve the new bathroom, and will be a rectangular dormer, with a picture window to the rear and triangular windows to the dormer cheeks. The second will also be rectangular, with triangular windows to the cheeks, but will have glazed doors giving access to a recessed balcony. The balcony will be the same width as the existing dormer, and will extend to the rear of the existing chimney. The front and side balustrades will be in frameless toughened glass to minimize the visual impact.
- 3.4 Zinc has been specified as a contemporary but complementary addition to the existing slate roof. Windows will be in dark grey to blend in with the zinc cladding and roofing slate.
- 3.5 The recessed balcony is partially hidden behind the existing chimney so will have minimal visual impact.
- 3.6 The proposals will have no impact on the privacy of neighbouring properties or gardens, nor will they adversely affect daylight or sunlight to other properties.
- 3.7 The zinc clad dormers are direct replacements for existing dormers, and maintain the same proportions. The inset terrace and roof windows will be discreet additions, partially obscured by the retained chimney.
- 3.8 The visual impact of these additions will be similar to a recently approved application at Montgomery Street: application reference 20/01623/FUL. This application included new dormer windows, roof windows, and an inset terrace with glass balustrade partially hidden behind an existing chimney. While this is in a different part of the city, it is within a conservation area (New Town) and is a very similar building type.



Proposed rear elevation

The Contractor shall check all dimensions on site before commencement of works.

Any variations or discrepancies are to be reported to AGORA architecture + design.

This drawing is the property of AGORA architecture + design and terms and conditions apply (available upon request)

drawing status:

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rev.	date	amendments	drawn	chckd
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Residual Risk:

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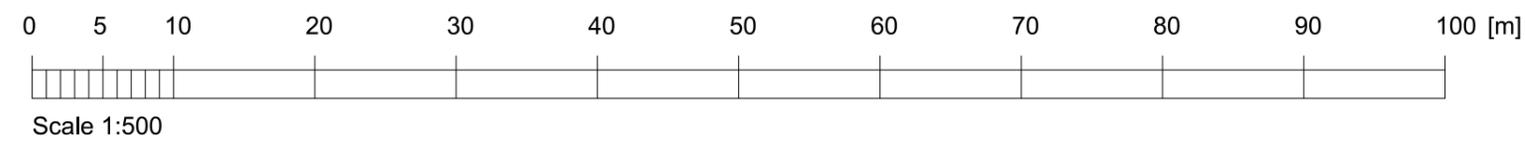
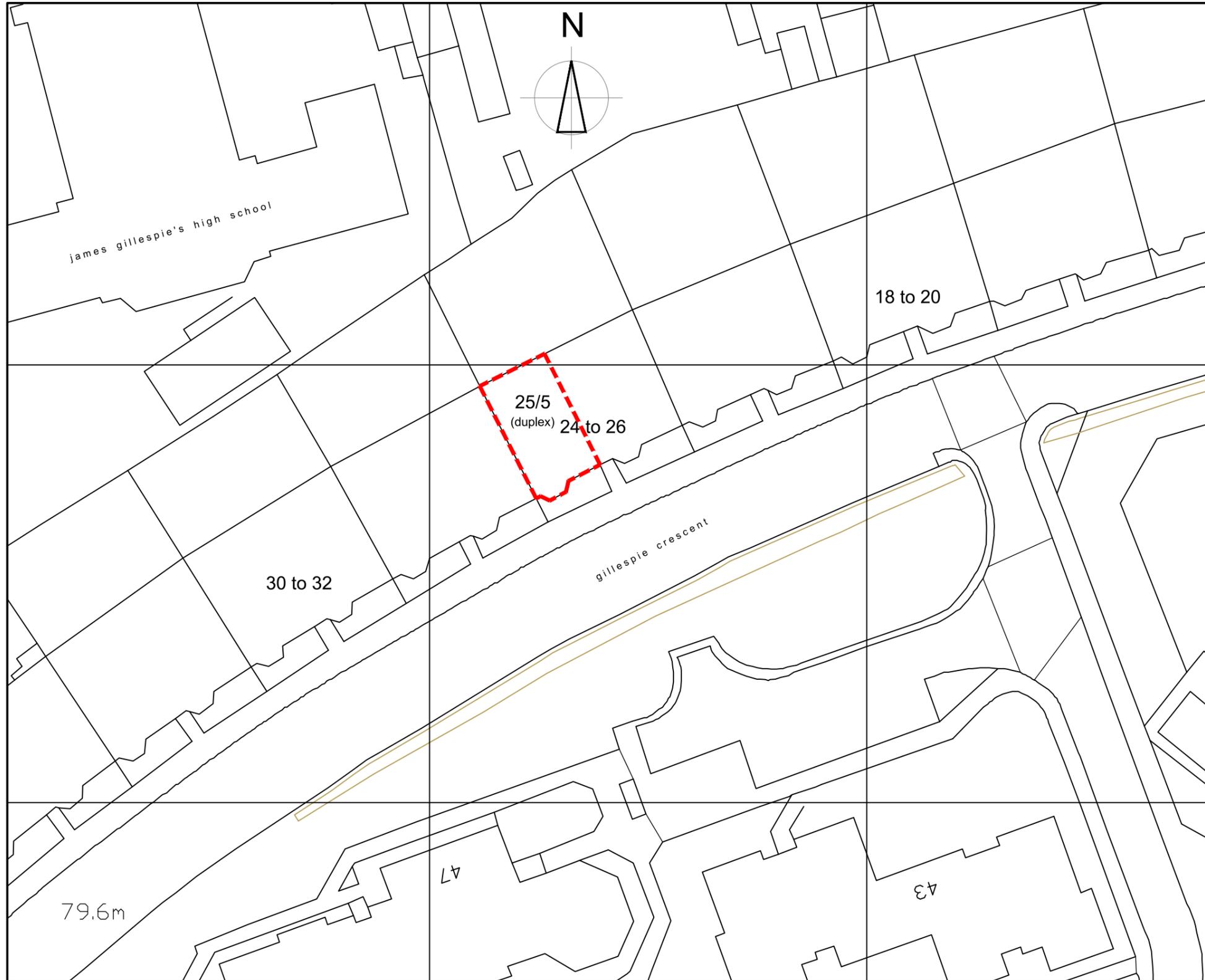
14 Brighton Place, Edinburgh, EH15 1LJ
Tel: +44 (0)131 2585686
email: studio@agora-ad.com
web: www.agora-ad.com

First floor alterations to
25-5 Gillespie Crescent, Edinburgh

Location plan

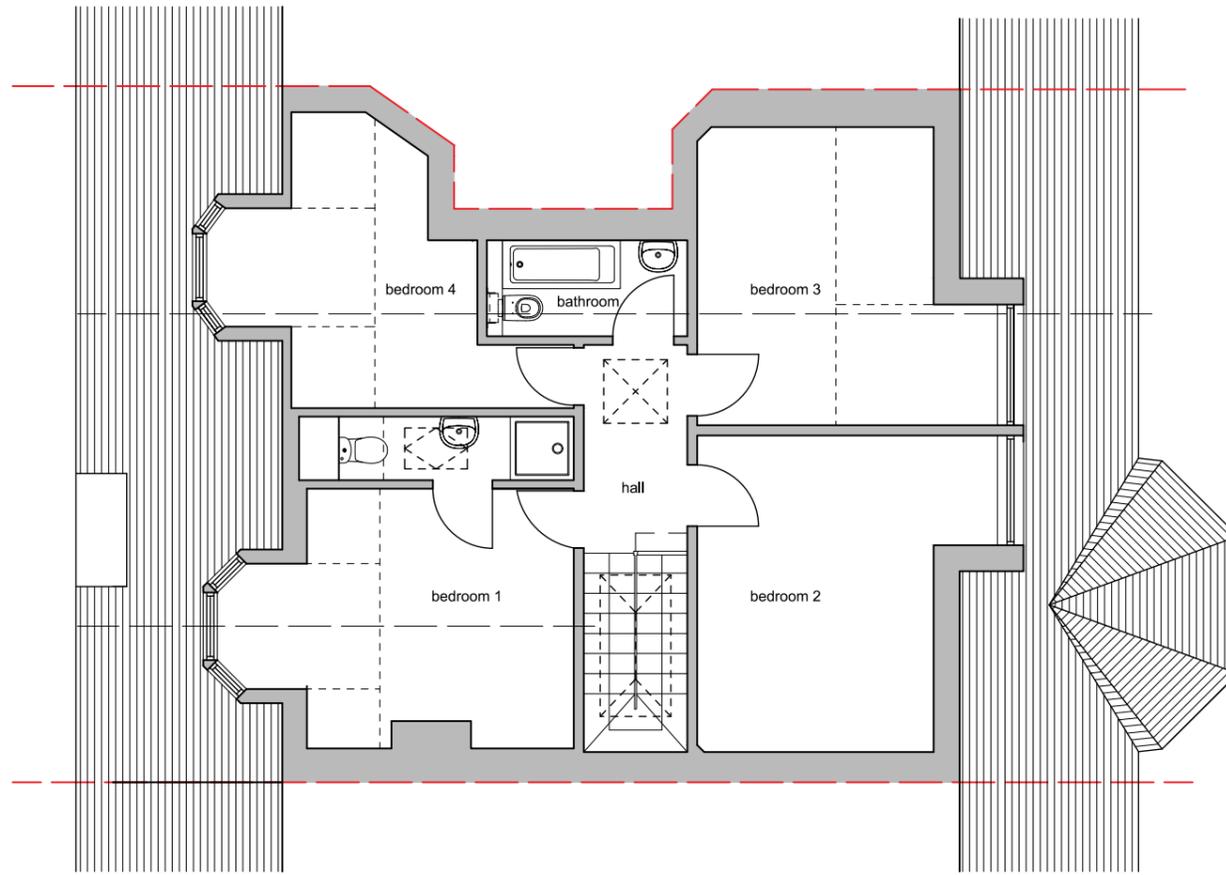
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drawn: GR	approved: LA

drg no: 2112-AAD-00-00-DR-A-PL01	rev: -
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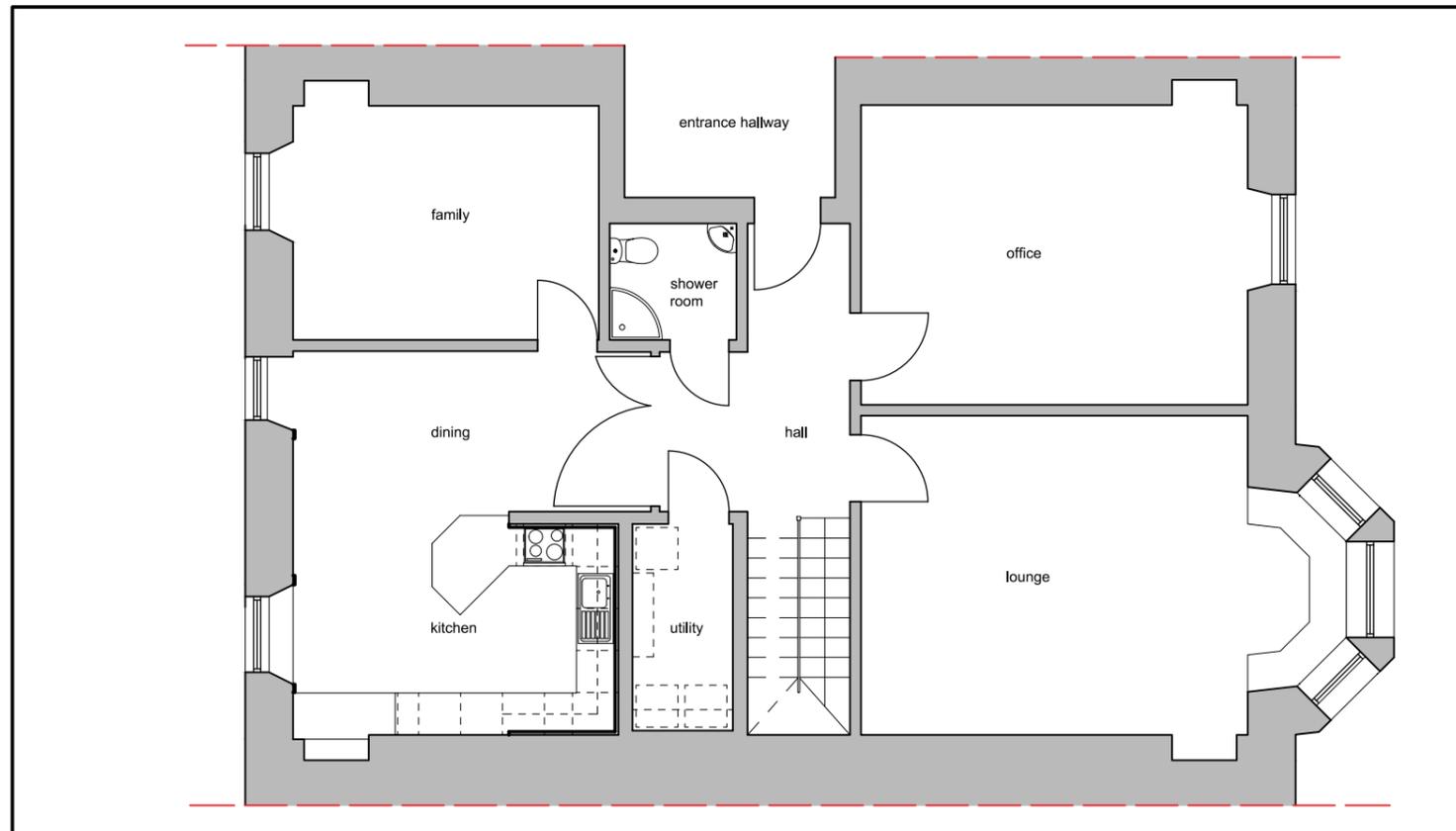


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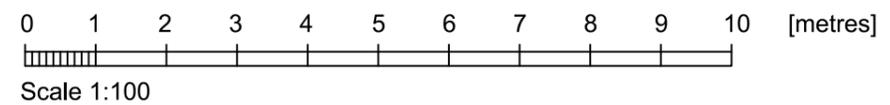
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First floor



Ground floor



rev.	date	amendments	drawn	chckd

Residual Risk:

AGORA
 architecture + design
 14 Brighton Place, Edinburgh, EH15 1LJ
 Tel: +44 (0)131 2585686
 email: studio@agora-ad.com
 web: www.agora-ad.com

First floor alterations to
 25-5 Gillespie Crescent, Edinburgh

Existing floor plans

scale at A3: 1:100	date: DECEMBER 2021
drawn: GR	approved: LA

drg no: 2112-AAD-00-00-DR-A-PL02	rev: -
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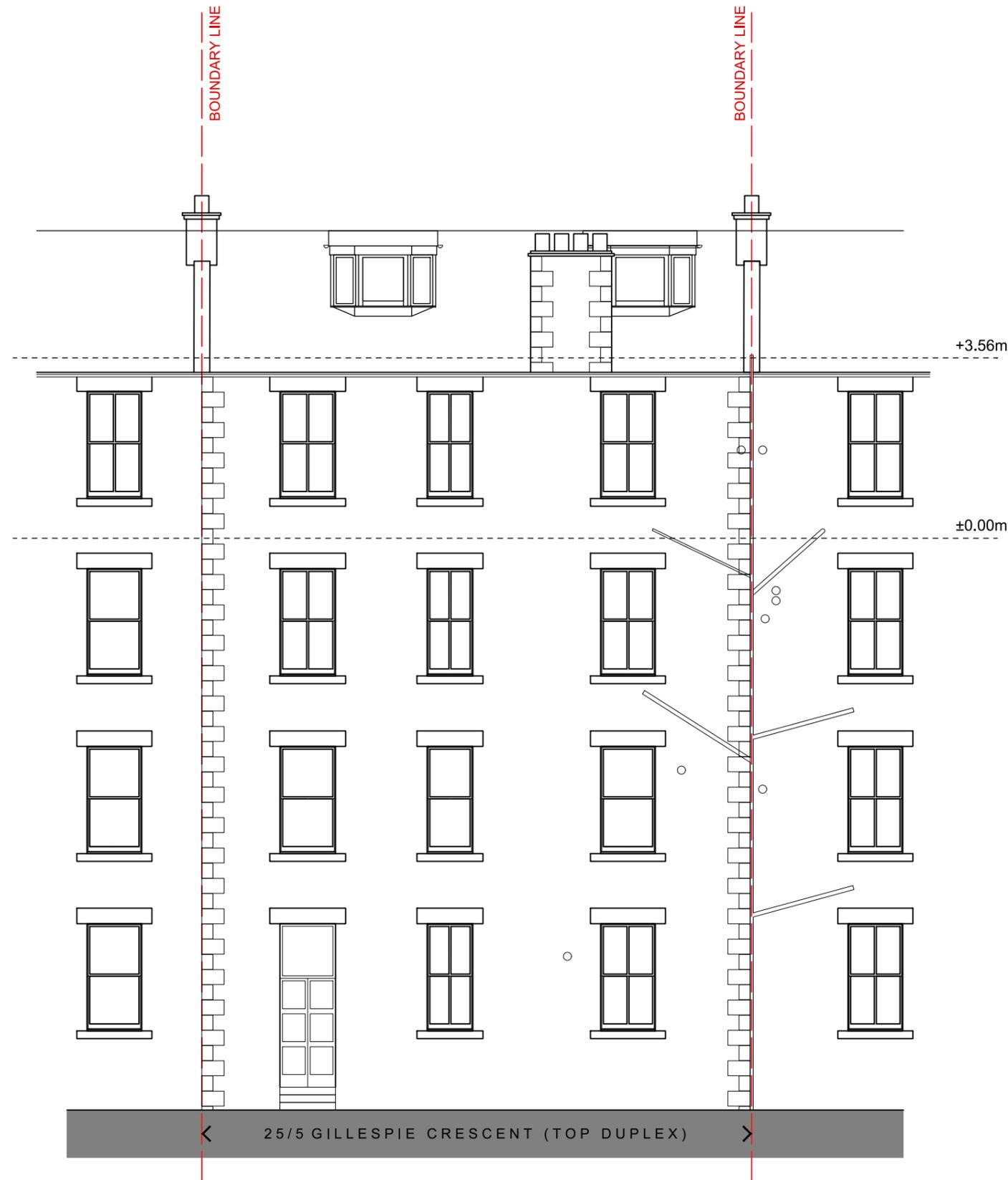
The Contractor shall check all dimensions on site before commencement of works.

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drawing status:

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North rear elevation

rev.	date	amendments	drawn	chckd
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Tel: +44 (0)131 2585686
email: studio@agora-ad.com
web: www.agora-ad.com

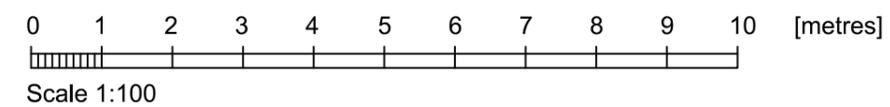
First floor alterations to
25-5 Gillespie Crescent, Edinburgh

Existing rear elevation

scale at A3: 1:100	date: DECEMBER 2021
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drawn: GR	approved: LA
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drg no: 2112-AAD-00-00-DR-A-PL03	rev: -
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The Contractor shall check all dimensions on site before commencement of works.

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drawing status:

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rev.	date	amendments	drawn	chckd
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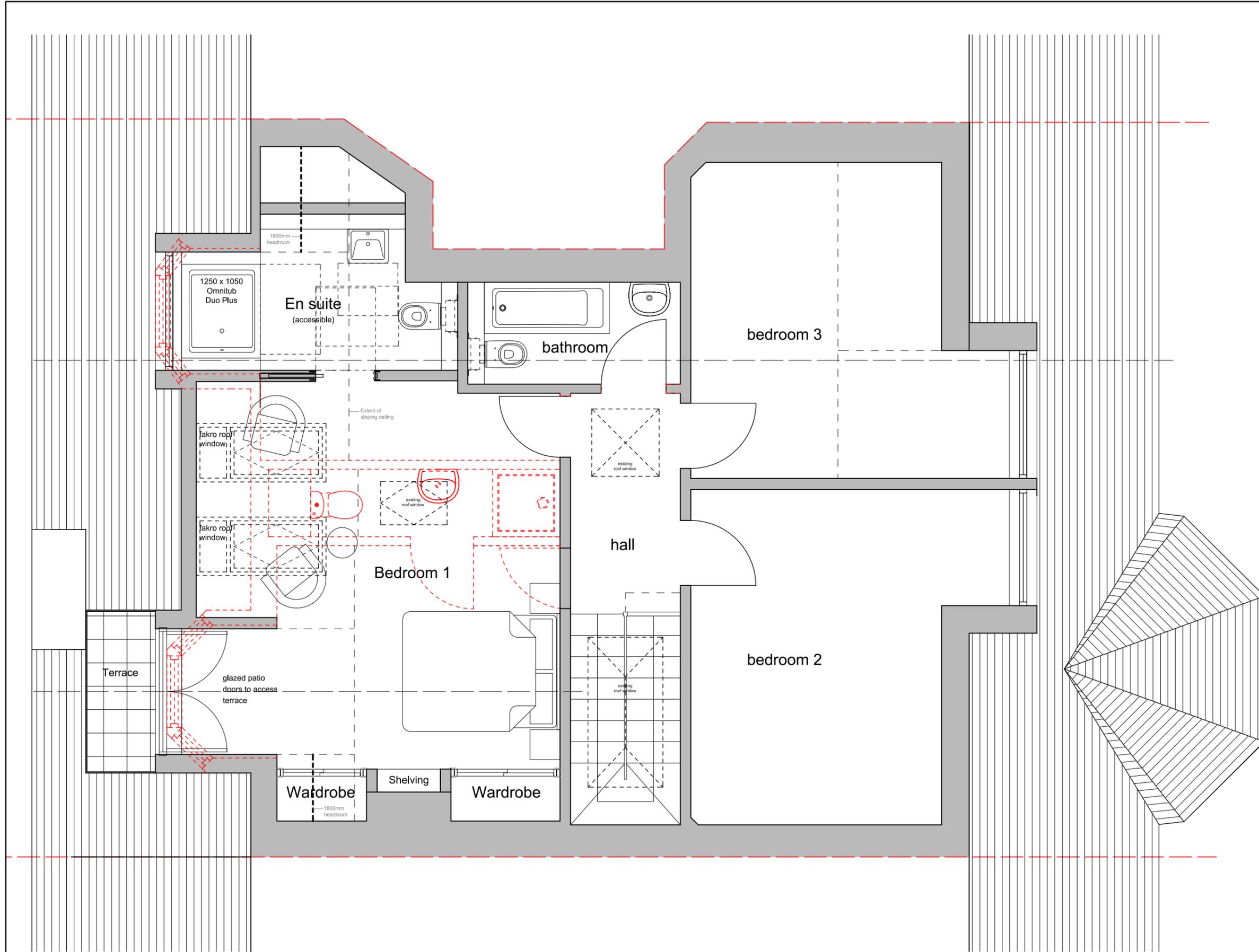
First floor alterations to
25-5 Gillespie Crescent, Edinburgh

Proposed first floor plan

scale at A3: 1:50	date: DECEMBER 2021
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drawn: GR	approved: LA
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drg no: 2112-AAD-00-00-DR-A-PL04	rev: -
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0 0.5 1 2 3 4 5 metres

Scale 1:50

The Contractor shall check all dimensions on site before commencement of works.

Any variations or discrepancies are to be reported to AGORA architecture + design.

This drawing is the property of AGORA architecture + design and terms and conditions apply (available upon request)

drawing status:

P L A N N I N G

rev.	date	amendments	drawn	chkd
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Residual Risk:

AGORA
architecture + design

14 Brighton Place, Edinburgh, EH15 1LJ
Tel: +44 (0)131 2585686
email: studio@agora-ad.com
web: www.agora-ad.com

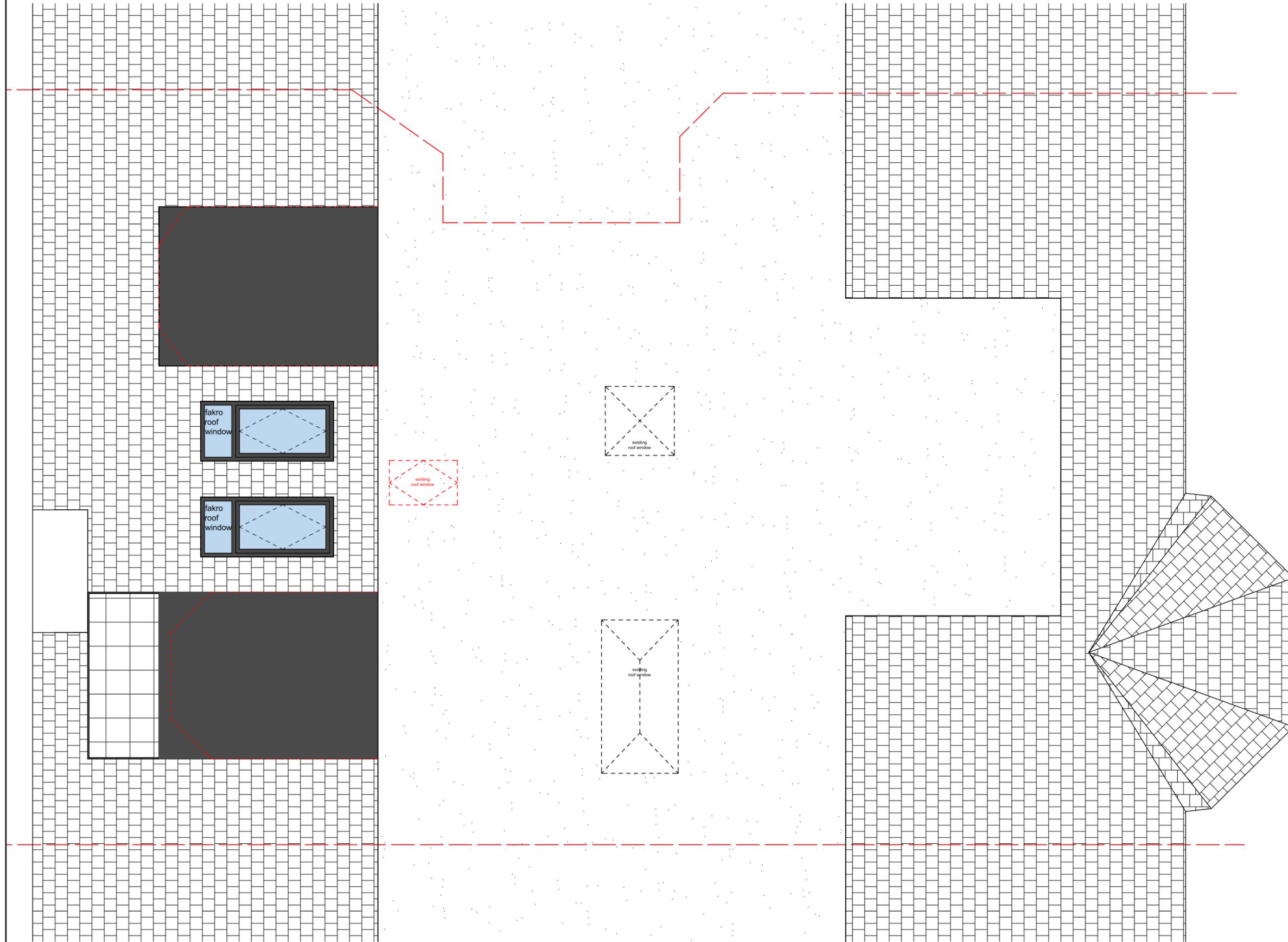
First floor alterations to
25-5 Gillespie Crescent, Edinburgh

Proposed roof plan

scale at A3: 1:50	date: DECEMBER 2021
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drawn: GR	approved: LA
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drg no: 2112-AAD-00-00-DR-A-PL05	rev: -
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0 0.5 1 2 3 4 5 metres

Scale 1:50

The Contractor shall check all dimensions on site before commencement of works.
 Any variations or discrepancies are to be reported to AGORA architecture + design.
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drawing status:
P L A N N I N G



Side elevation

Side elevation

North rear elevation

rev.	date	amendments	drawn	chckd

Residual Risk:

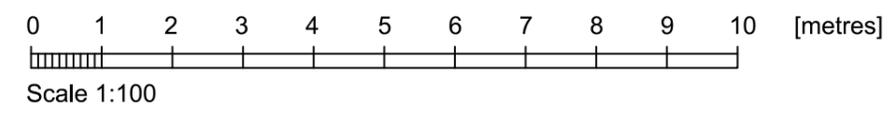
AGORA
 architecture + design
 14 Brighton Place, Edinburgh, EH15 1LJ
 Tel: +44 (0)131 2585686
 email: studio@agora-ad.com
 web: www.agora-ad.com

First floor alterations to
 25-5 Gillespie Crescent, Edinburgh

Proposed rear elevation

scale at A3: 1:100	date: DECEMBER 2021
drawn: GR	approved: LA

drg no: 2112-AAD-00-00-DR-A-PL06	rev: -
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The Contractor shall check all dimensions on site before commencement of works.

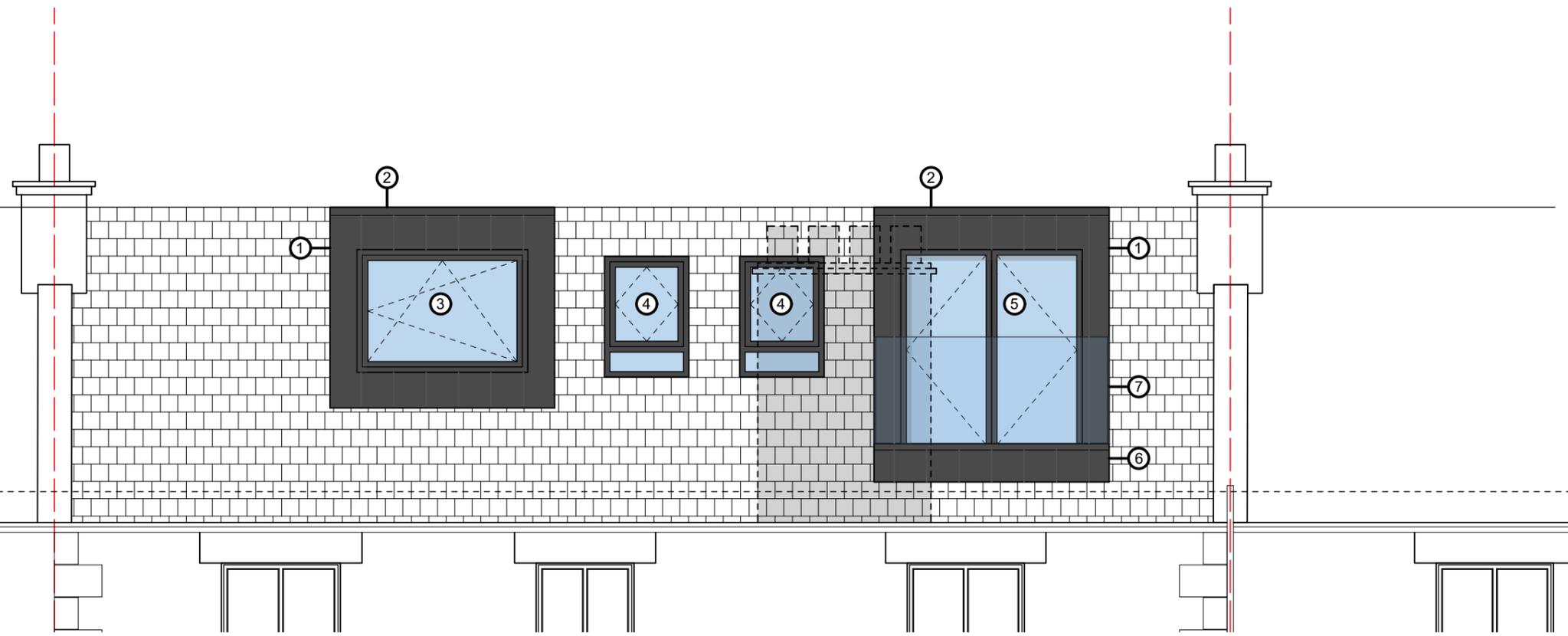
Any variations or discrepancies are to be reported to AGORA architecture + design.

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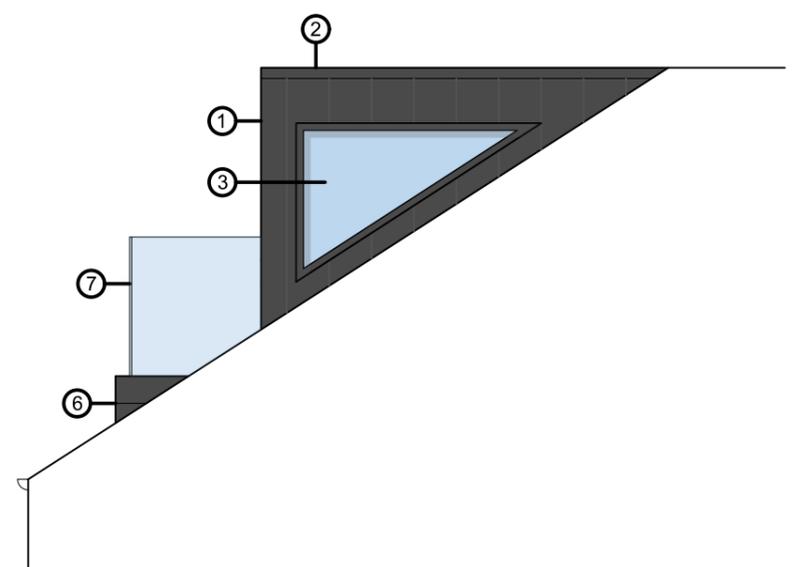
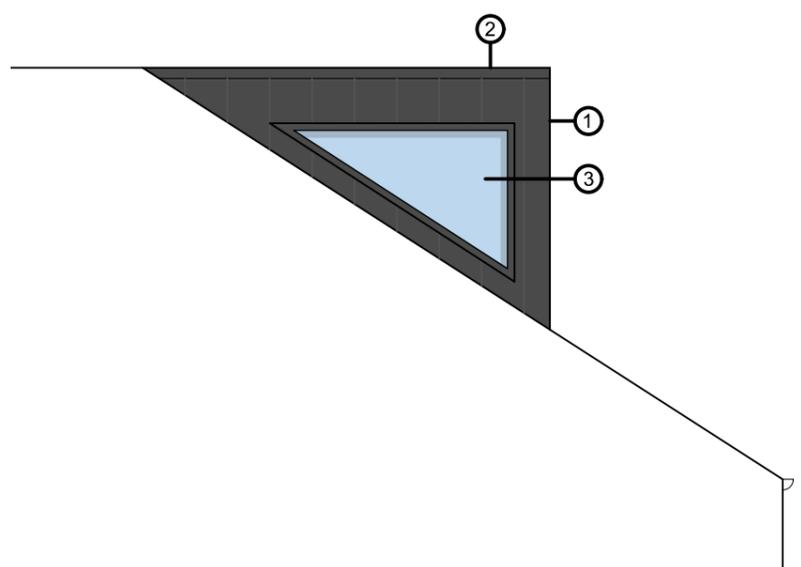
drawing status:

P L A N N I N G

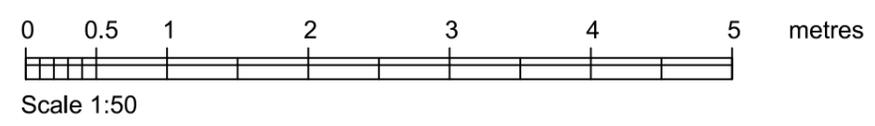
1. Zinc clad dormers
2. Single ply membrane roof to dormers
3. PPC aluminium double glazed window
4. Fakro Conservation Style Raised Axis Roof Windows
5. PPC aluminium double glazed patio door to terrace
6. Roof terrace (zinc fascia)
7. Frameless glass balustrade



North rear elevation



Side elevations



rev.	date	amendments	drawn	chckd

Residual Risk:

AGORA
 architecture + design
 14 Brighton Place, Edinburgh, EH15 1LJ
 Tel: +44 (0)131 2585686
 email: studio@agora-ad.com
 web: www.agora-ad.com

First floor alterations to
 25-5 Gillespie Crescent, Edinburgh

Proposed rear elevation
 (extract behind chimney)

scale at A3: 1:50	date: DECEMBER 2021
drawn: GR	approved: LA

drg no: 2112-AAD-00-00-DR-A-PL07	rev: -
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