

Business Centre G.2 Waverley Court 4 East Market Street Edinburgh EH8 8BG Email: planning.support@edinburgh.gov.uk

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100598381-001

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

Applicant or Agent Details

Are you an applicant or an agent? * (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

Applicant Agent

Agent Details

Please enter Agent details

Company/Organisation:	Ferguson Planning Ltd		
Ref. Number:		You must enter a Building Name or Number, or both: *	
First Name: *	Sam	Building Name:	37 ONE
Last Name: *	Edwards	Building Number:	37
Telephone Number: *	07854009657	Address 1 (Street): *	George Street
Extension Number:		Address 2:	
Mobile Number:		Town/City: *	Edinburgh
Fax Number:		Country: *	Midlothian
		Postcode: *	EH2 2HN
Email Address: *	sam@fergusonplanning.co.uk		

Is the applicant an individual or an organisation/corporate entity? *

Individual Organisation/Corporate entity

Applicant Details

Please enter Applicant details

Title:	<input type="text" value="Mrs"/>	You must enter a Building Name or Number, or both: *	
Other Title:	<input type="text"/>	Building Name:	<input type="text"/>
First Name: *	<input type="text" value="Susan"/>	Building Number:	<input type="text" value="15"/>
Last Name: *	<input type="text" value="Bringhurst"/>	Address 1 (Street): *	<input type="text" value="Greenhill Gardens"/>
Company/Organisation	<input type="text"/>	Address 2:	<input type="text"/>
Telephone Number: *	<input type="text"/>	Town/City: *	<input type="text" value="Edinburgh"/>
Extension Number:	<input type="text"/>	Country: *	<input type="text" value="Scotland"/>
Mobile Number:	<input type="text"/>	Postcode: *	<input type="text" value="EH10 4BN"/>
Fax Number:	<input type="text"/>		
Email Address: *	<input type="text" value="susan@bringhurst.com"/>		

Site Address Details

Planning Authority:	<input type="text" value="City of Edinburgh Council"/>
Full postal address of the site (including postcode where available):	
Address 1:	<input type="text" value="10 GLENLOCKHART BANK"/>
Address 2:	<input type="text" value="CRAIGLOCKHART"/>
Address 3:	<input type="text"/>
Address 4:	<input type="text"/>
Address 5:	<input type="text"/>
Town/City/Settlement:	<input type="text" value="EDINBURGH"/>
Post Code:	<input type="text" value="EH14 1BL"/>

Please identify/describe the location of the site or sites

Northing	<input type="text" value="670391"/>	Easting	<input type="text" value="322803"/>
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Description of Proposal

Please provide a description of your proposal to which your review relates. The description should be the same as given in the application form, or as amended with the agreement of the planning authority: *
(Max 500 characters)

Convert existing redundant swimming pool building into a separate private family dwelling house within the curtilage of an existing house (As amended).

Type of Application

What type of application did you submit to the planning authority? *

- Application for planning permission (including householder application but excluding application to work minerals).
- Application for planning permission in principle.
- Further application.
- Application for approval of matters specified in conditions.

What does your review relate to? *

- Refusal Notice.
- Grant of permission with Conditions imposed.
- No decision reached within the prescribed period (two months after validation date or any agreed extension) – deemed refusal.

Statement of reasons for seeking review

You must state in full, why you are seeking a review of the planning authority's decision (or failure to make a decision). Your statement must set out all matters you consider require to be taken into account in determining your review. If necessary this can be provided as a separate document in the 'Supporting Documents' section: * (Max 500 characters)

Note: you are unlikely to have a further opportunity to add to your statement of appeal at a later date, so it is essential that you produce all of the information you want the decision-maker to take into account.

You should not however raise any new matter which was not before the planning authority at the time it decided your application (or at the time expiry of the period of determination), unless you can demonstrate that the new matter could not have been raised before that time or that it not being raised before that time is a consequence of exceptional circumstances.

Please refer to the supporting appeal statement enclosed.

Have you raised any matters which were not before the appointed officer at the time the Determination on your application was made? *

Yes No

If yes, you should explain in the box below, why you are raising the new matter, why it was not raised with the appointed officer before your application was determined and why you consider it should be considered in your review: * (Max 500 characters)

Historic plan of the area (freely available to the officer online), and a density plan of the area (prepared to support our response in the appeal statement which rebuts the Officer's reason for refusal).

Please provide a list of all supporting documents, materials and evidence which you wish to submit with your notice of review and intend to rely on in support of your review. You can attach these documents electronically later in the process: * (Max 500 characters)

For the Appeal - Appeal Statement and Appendix 1: Site Photographs, Appendix 2: Historic Plans, Appendix 3: Density Plan; Revised Red Line Boundary and Explanatory Note From Previous Application - Officers Report of Handling and Decision Notice; Architectural Drawings; Design Statement; Structural Engineers Report.

Application Details

Please provide the application reference no. given to you by your planning authority for your previous application.

21/06240/FUL

What date was the application submitted to the planning authority? *

25/11/2021

What date was the decision issued by the planning authority? *

14/06/2022

Review Procedure

The Local Review Body will decide on the procedure to be used to determine your review and may at any time during the review process require that further information or representations be made to enable them to determine the review. Further information may be required by one or a combination of procedures, such as: written submissions; the holding of one or more hearing sessions and/or inspecting the land which is the subject of the review case.

Can this review continue to a conclusion, in your opinion, based on a review of the relevant information provided by yourself and other parties only, without any further procedures? For example, written submission, hearing session, site inspection. *

Yes No

Please indicate what procedure (or combination of procedures) you think is most appropriate for the handling of your review. You may select more than one option if you wish the review to be a combination of procedures.

Please select a further procedure *

By means of inspection of the land to which the review relates

Please explain in detail in your own words why this further procedure is required and the matters set out in your statement of appeal it will deal with? (Max 500 characters)

Given the existence of the building, proposed for conversion, it is suggested that a site visit would be helpful to Members in their assessment of this appeal.

In the event that the Local Review Body appointed to consider your application decides to inspect the site, in your opinion:

Can the site be clearly seen from a road or public land? *

Yes No

Is it possible for the site to be accessed safely and without barriers to entry? *

Yes No

If there are reasons why you think the local Review Body would be unable to undertake an unaccompanied site inspection, please explain here. (Max 500 characters)

The site is in the rear garden of the appellant's property and cannot be seen from the public road.

Checklist – Application for Notice of Review

Please complete the following checklist to make sure you have provided all the necessary information in support of your appeal. Failure to submit all this information may result in your appeal being deemed invalid.

Have you provided the name and address of the applicant?. *

Yes No

Have you provided the date and reference number of the application which is the subject of this review? *

Yes No

If you are the agent, acting on behalf of the applicant, have you provided details of your name and address and indicated whether any notice or correspondence required in connection with the review should be sent to you or the applicant? *

Yes No N/A

Have you provided a statement setting out your reasons for requiring a review and by what procedure (or combination of procedures) you wish the review to be conducted? *

Yes No

Note: You must state, in full, why you are seeking a review on your application. Your statement must set out all matters you consider require to be taken into account in determining your review. You may not have a further opportunity to add to your statement of review at a later date. It is therefore essential that you submit with your notice of review, all necessary information and evidence that you rely on and wish the Local Review Body to consider as part of your review.

Please attach a copy of all documents, material and evidence which you intend to rely on (e.g. plans and Drawings) which are now the subject of this review *

Yes No

Note: Where the review relates to a further application e.g. renewal of planning permission or modification, variation or removal of a planning condition or where it relates to an application for approval of matters specified in conditions, it is advisable to provide the application reference number, approved plans and decision notice (if any) from the earlier consent.

Declare – Notice of Review

I/We the applicant/agent certify that this is an application for review on the grounds stated.

Declaration Name: Mrs Sam Edwards

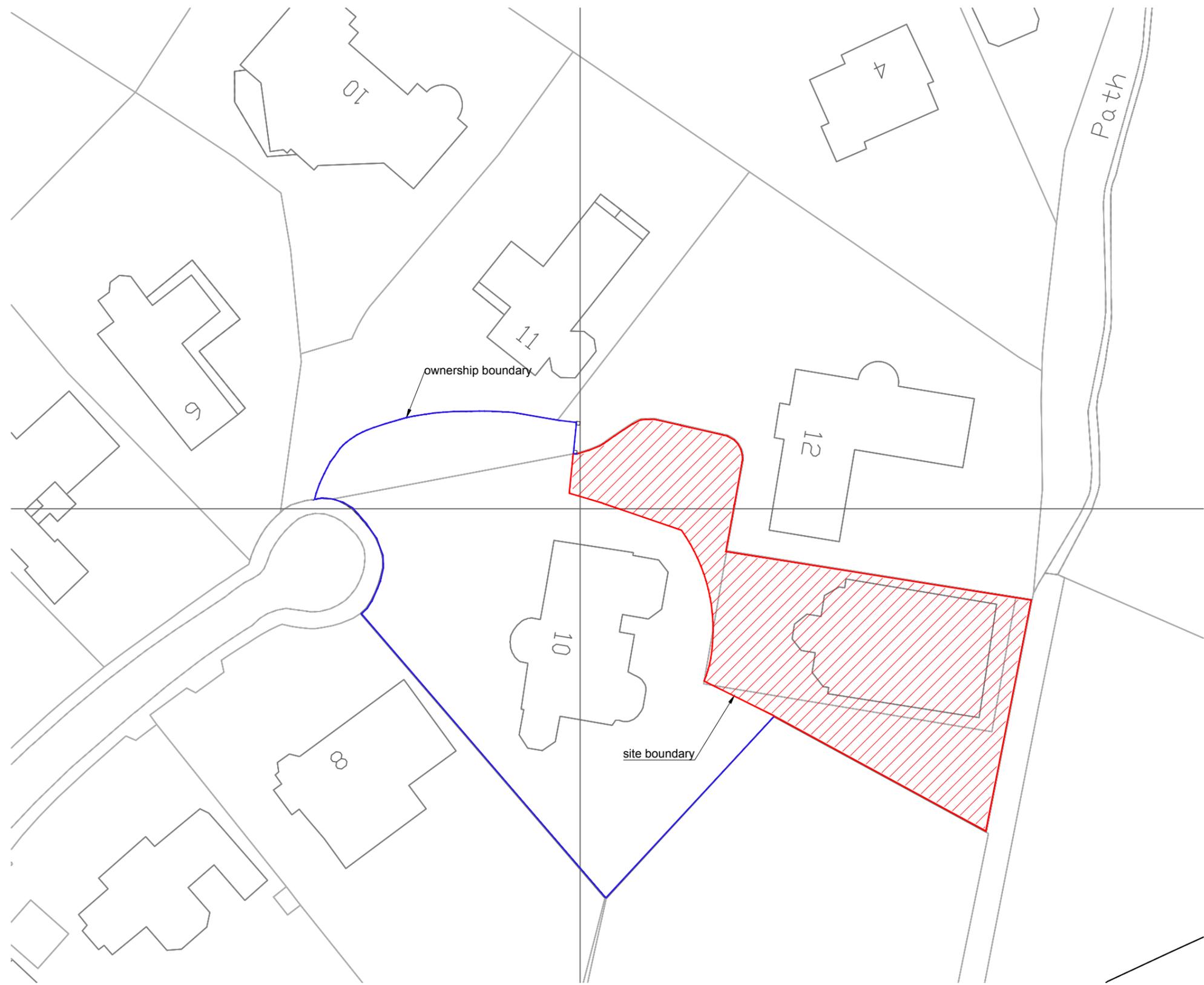
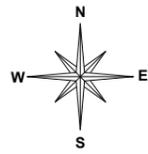
Declaration Date: 12/09/2022

10 Glenlockhart Bank, Edinburgh, EH14 1BL

Please find enclosed a revised red line boundary Location Plan (Drawing P01) and Block Plan (Drawing P02) to reflect comments raised by a neighbour in relation to the original application (21/06240/FUL). The owners of No 12 identified a minor error, and that a small part of the land near the access to the site, delineated within the original red line / blue line boundary, belonged to them.

The proposed amendment is minor, and does not affect the development proposals, design and layout or ability to deliver the proposed works. It should have no effect on the consideration of this appeal. However, the appellant considered it appropriate to update the plans to address these comments.

The plans have now been updated to address this issue and submitted as part of this appeal. The previous error was due to lack of information on the base OS plan. We would be grateful if the Council could consider the substitution. We note a similar issue arose and a revised plan was permitted in a recent appeal by the Scottish Government (DPEA PPA-230-2358). If not, the proposals remain unchanged, and determination of this appeal should therefore be unaffected.



Revision A - 10.3.2022 - Drawing amended to show 1 no. car parking space only.

Client: David Orr

Job: 10 Glenlockhart Bank Pool House

Title: Location Plan

Scale: 1:500 @ A3

Date: 1.9.2022

Job No: 669

Dwg No: P01

Rev: B

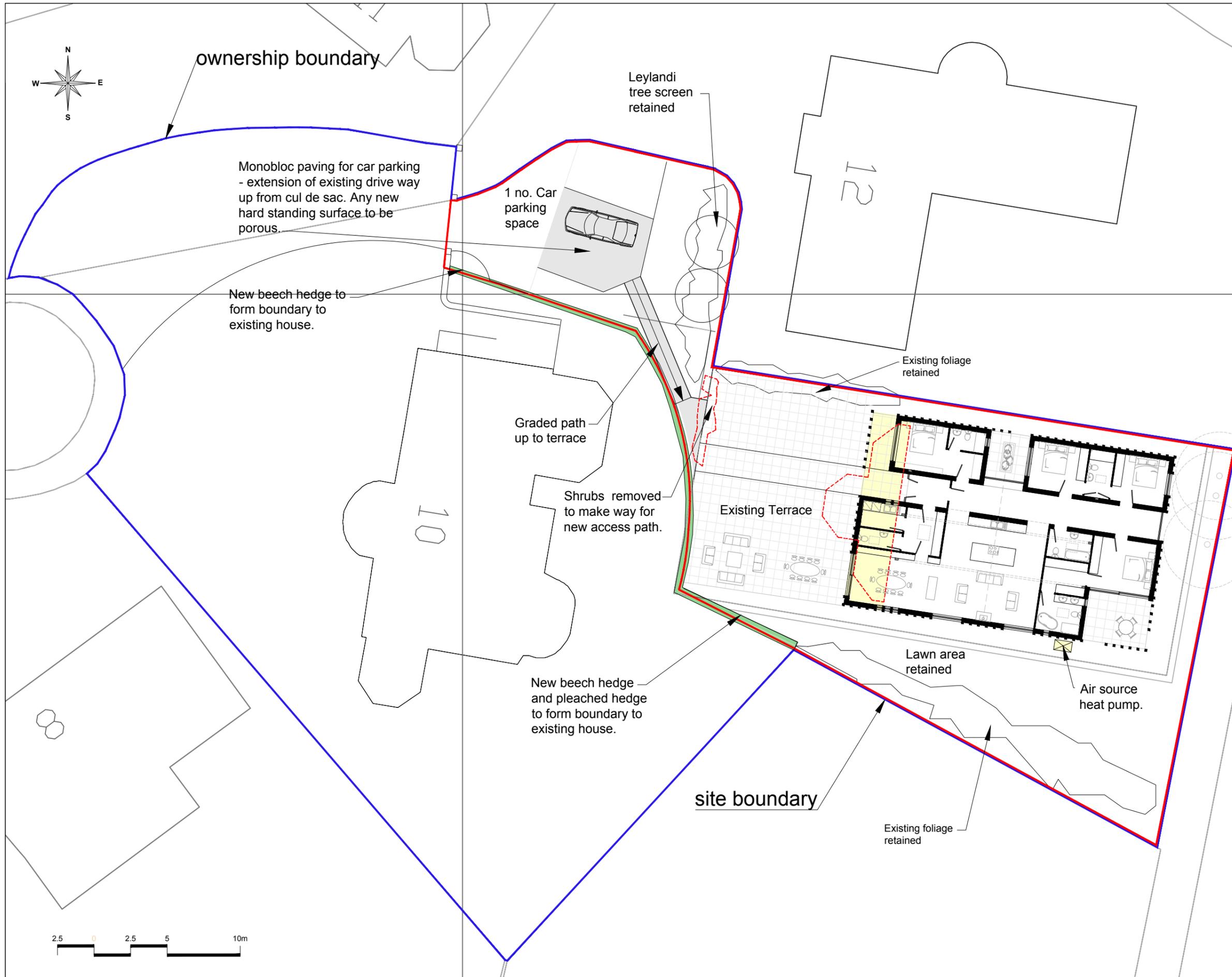
graymacpherson architects LLP

Tigh-na-Geat House, Damhead Farm, Lothianburn, Edinburgh EH10 7DZ

tel. 0131 445 2223
fax. 0131 445 7377



PLANNING



Revision A - 10.3.2022 - Drawing amended to show 1 no. car parking space only.

Revision B - 10.3.2022 - Note on hard standing to be porous added to drawing..

Client: David Orr

Job: 10 Glenlockhart Bank Pool House

Title: Block Plan

Scale: 1:250 @ A3

Date: 1.9.2022

Job No: 669

Dwg No: P02

Rev: C

graymacpherson architects LLP

Tigh-na-Geat House, Damhead Farm, Lothianburn, Edinburgh EH10 7DZ

tel. 0131 445 2223 fax. 0131 445 7377

PLANNING

Mich Gray
Gray MacPherson Architects
Tigh-na-Geat House
Damhead
Edinburgh
EH10 7DZ

Dear Mich,

10 Glenlockhart Bank, The Old Swimming Pool, Edinburgh

In support of the planning application for the above project please find below our report on the existing building. This includes an assessment on the original design loadings and proposed new loadings. A site visual inspection of the walls, Glulam portal frames and roof members was carried out on 05/10/21 with the structure found to be in good condition. Site photographs are attached in Appendix C.

1. Original Loadings and Main Purlin Design Calculation

A copy of the original design drawings was obtained from City of Edinburgh Building Standards which included the roof make up loads and design calculations for the main purlin and portal frame design.

The dead load of the roof = 30lb/ft² with the equivalent metric load = 0.72kN/m²

The Imposed loading of the original design was 15lb/ft² with the equivalent metric load = 0.75kN/m²

From site information the existing roof is slate on felt and ply boarding on rafters supported on purlins with the dead load = 0.934kN/m².

A copy of the original purlin calculation overmarked with the metric conversion is attached at the end of the report Appendix A.

2. New Proposed Roof Loadings

The roof make up for the proposed alterations is required to enhance the thermal capacity while not increasing the loading onto the existing structure and as such a standing seam roof with timber boarding is proposed.

The dead loading = to 0.77kN/m² and imposed loading unchanged, a copy of the proposed make up is attached at the end of the report in Appendix B

3. Conclusions and Recommendations

From the visual inspection of the building structural members, the roof rafters, purlins and glulam portal frames were found to be in good condition with no visible signs of damp, rot or stress to any of those members.

It is deemed that the building is amenable for conversion to a single dwelling as the building proposed roof dead loads are less than the existing and the imposed loadings will be unchanged. It is therefore proposed that the existing rafters, purlins and glulam portal frames remain with the roof finishes updated to a lighter construction with better thermal properties. New loadbearing and non-loadbearing internal partitions to be constructed to create the new proposed rooms with a new floor over the swimming pool.

Yours Sincerely



Paul Jenkins
Partner

APPENDIX A

Building Original Roof Loadings Design Calculation and Comparison Roof Loadings

OCT 21

10 GLENLOCKHURST BANK HISTORIC INFORMATION RE

SWIMMING POOL AT EDINBURGH, ROOF MAKE UP

CONVERT FROM IMPERIAL TO METRIC LOADS

$11\text{lb/ft}^2 \Rightarrow 0.047$

kN/m^2

1. LOADING:

HALCRETE PANELS	7.00	0.335
3 LAYERS FELT	3.00	0.144
PURLINS	2.00	0.096
SELF WEIGHT.	3.00	0.144
DL	15.00	0.72
LL	15.00	0.72
TOTAL.	30.00 lb/ft ²	1.44 kN/m ²

2. PURLIN DESIGN.

DOUGLAS FIR (GS GRADE) 6.895 kN/m^2 minus self wt.

WET CONDITIONS.

$P_b = 1400 \text{ lbf/in}^2$

$K_{12} = 1.25$

$L = 10' - 0" / 3\text{m}$
 $7' - 0" \text{ c/c} / 2.1\text{m}$
 $W = 70 \times 27 = 1890 \text{ lb}$
 $30 \cdot 2100 \text{ lb}$

TRY 7" x 4" SECTION. (6 7/8" x 3 7/8")
 175X100

$A = 26.641 \text{ in}^2$ 17500 mm^2
 $Z_{xx} = 30.526 \text{ in}^3$ 510416 mm^3
 $I_{xx} = 104.932 \text{ in}^4$ 44661458 mm^4

CHECK FOR BENDING.

$$f_b = \frac{W L}{8} \times \frac{1}{Z \cdot K_{12}}$$

$$= \frac{1890 \times 10 \times 12}{8} \times \frac{1}{30.526 \times 1.25}$$

$$= 742.97 \text{ lbf/in}^2 \leq 1400 \text{ lbf/in}^2 \text{ allowable}$$

CHECK FOR DEFLECTION.

$$\delta = \frac{5 W L^3}{384 E I}$$

$$= \frac{5 \times 1890 \times 10^3 \times 12^3}{384 \times 1.5 \times 10^6 \times 104.932} = .27" = \frac{1}{44}$$

10343 N/mm^2 6.8 mm

create
engineering

The Breakfast Mission
15 Old Fishmarket Close Edinburgh EH11RW.
T 0131 220 0215
W www.createengineering.com

PROJECT NAME: 10 Glenlockhart Bank

Job No: 21102

Location: EDINBURGH

Element: ROOF LOAD Assessment

By: TB

Date: Oct 21

Ch:

Date:

Sheet No:

1

FROM HISTORIC INFORMATION

EXISTING ROOF MAKE UP

LOAD	DL KN/m ²	1L KN/m ²
HALCOTE PURLS	0.335	
3 LAYERS FELT	0.144	
RAFTERS	0.096	
Sub purlns	0.144	
1L		0.75
	<u>Σ 0.72</u>	

(FROM SITE INFORMATION EXISTING ROOF)

SLATES + BATTENS	0.42	
FELT	0.144	
BOARDING	0.13	
RAFTERS	0.096	
PURLINS	0.144	
1L		0.75
	<u>Σ 0.934</u>	

		PROJECT NAME: 10 GLENLOCKHART BANK Job No: 21102 Location: EDINBURGH Element: ROOF LOAD ASSESSMENT			
The Breakfast Mission 15 Old Fishmarket Close Edinburgh EH11RW. T 0131 220 0215 W www.createengineering.com					
By: TB	Date: OCT 21	Ch:	Date:	Sheet No: 2	
<u>PROPOSED STANDING SEAM ROOF</u>					
	<u>LOAD</u>	<u>DL KN/M²</u>		<u>IL KN/M²</u>	
	STANDING SEAM	0.05			
	BOARDING	0.13			
	BATTENS	0.10			
	MEMBRANE	-			
	INSULATION	0.10			
	PB CEILING	0.15			
	EX RAFTERS	0.096			
	EX PURLINS	0.144			
	IL	<u>Σ 0.77</u>		0.75	
<p>FROM EXISTING SITE INSPECTION INFORMATION THE NEW PROPOSED ROOF MAKE UP DEAD LOAD IS LESS THAN THE EXISTING ∴ OK</p>					

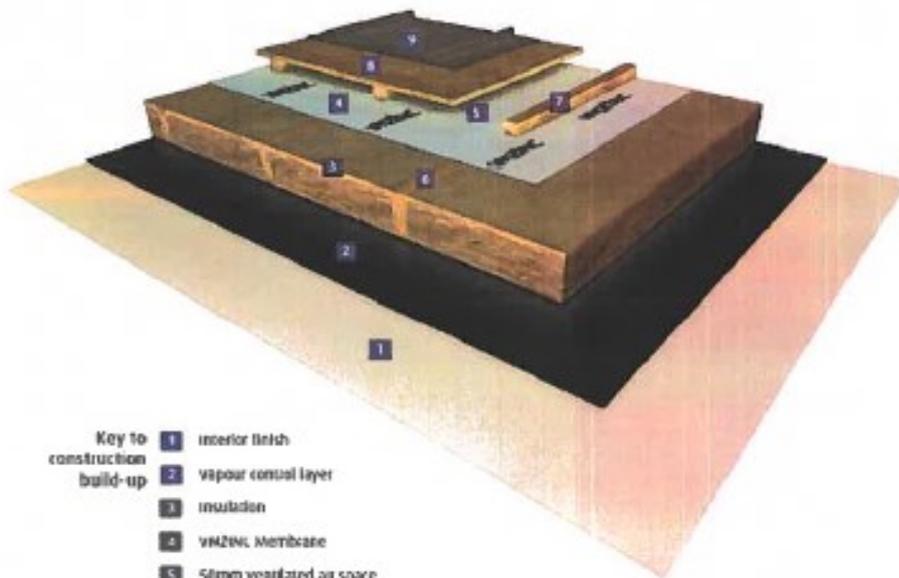
APPENDIX B

Proposed Roof Make up

VMZ Standing seam

cold weather roofs

Standing seam on open-gap timber boarding



- Key to construction build-up**
- 1 interior finish
 - 2 vapour control layer
 - 3 insulation
 - 4 VMZinc Membrane
 - 5 50mm ventilated air space
 - 6 Reflector
 - 7 battens
 - 8 open-gap timber boarding
 - 9 VMZ Standing Seam

- Advantages of standing seam on open-gap timber boarding**
- A very versatile and easy to install substrate
 - Flexible because it also permits complex shapes to be clad in zinc
 - Excellent pull out resistance
 - Easy installation using traditional clips
 - BRE PN 15/04 EPO



Zinc Roof - Membrane - S.18 VMZinc - cold roof, ventilated

Quartz Zinc fibrous 10mm thick open jointed ceiling on 50 x 50 battens on VMZinc membrane on 95 x 45 rafters. PR 2 layers of 90mm thick Thermaloc TR27 between rafters. 40.5mm Kingspan K118 to underside of rafters 90mm above 50 x 50

APPENDIX C

Site Photographs



Glulam Frames looking South



Glulam Frames Looking East



Glulam Frames East



North Elevation



Glulam Frame looking West



Glulam Portal Frame Apex Connection Detail



APPEAL STATEMENT

CONVERSION OF EXISTING SWIMMING POOL INTO A PRIVATE DWELLING HOUSE

10 GLENLOCKHART BANK

SEPTEMBER 2022

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NORTHERN IRELAND

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EXECUTIVE SUMMARY

- The appellant is seeking a review of the officer's decision to refuse application 21/06240/FUL at 10 Glenlockhart Bank, Edinburgh which sought to 'Convert existing redundant swimming pool building into a separate private family dwelling house within the curtilage of an existing house'.
- The officer refused the application on four policy grounds, but the crux of the issue is understood to be concerns that the proposal would negatively impact the established character and appearance of the surrounding area.
- The appellant seeks a review of this decision, as it is considered that the reasons for refusal are unsubstantiated. We address each in turn and set out why we consider the application should have been approved in Section 4.
- The appellant does not consider that the officer gave sufficient weight to the fact that the building already exists and has been an established part of the character of the area for more than 40 years. We have requested a site visit as it is important to see this context and we do not believe that one was undertaken as part of the officer's assessment.
- The proposed development offers a vital and viable new use for an existing building, providing a high quality and environmentally sustainable new four-bedroom family home within the city, supporting Policy Hou 1.
- A tired building will be given a high quality and modern face lift, which will vastly improve the appearance of the building compared to its current state. The privacy of the neighbouring properties is unaffected by the conversion of the building into a modern family home (as also confirmed by the officer). The proposal will positively impact the character and appearance of the area around it, compliant with Policy Des 1.
- The townscape character of the area is one that has clearly evolved over time. It is not uniform, but it is this which gives the area its unique form. The existing swimming pool building is very much part of this historical narrative. The officer did not give this sufficient consideration in their assessment. It is therefore an established part of the local urban grain, compliant with Policy Des 4.
- The appeal site has a density of 20-29% which is in line with the established street pattern. The density of development on the site has evolved historically

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and is considered appropriate and in-keeping with the surrounding context, compliant with Policy Hou 4.

- Policy Hou 5 supports the *“recycling of buildings to achieve sustainability goals and provides the essential means by which the historic character of different localities can be maintained”*. The officer should have considered this policy support for the proposals, and it was not assessed in their report.
- The officer did not give sufficient weight, to the significant environmental benefits that will arise from the re-use of the fabric of an existing building.
- The structure will be retained and improved, and demolition of an existing building will be avoided. This reuse, and repurposing of materials means that this project is fully endorsed by draft NPF4 which says such proposals for the re-use of buildings should be a priority and supported and helps the Council to address the global climate change emergency.
- In contrast to the officer’s report, we consider the proposals are compliant with policies DES 1, 4 and Hou 1 and 4. We also consider the officer should have referred to Policy Hou 5, which fully supports the proposals. There are also several material planning considerations that weigh in its favour, not least the significant environmental benefits of re-using an existing building, to provide much needed family housing in the city. We respectfully request that this appeal is therefore allowed by the Local Review Body on that basis.

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1. INTRODUCTION

- 1.1 This statement is submitted on behalf of Susan Bringhurst (the appellant) and sets out the grounds of appeal against the decision of the City of Edinburgh Council (CEC) to refuse planning application LPA ref: 21/06240/FUL by delegated decision on 14 June 2022.
- 1.2 The detailed planning application sought consent to “Convert existing redundant swimming pool building into a separate private family dwelling house within the curtilage of an existing house. (As amended)” at 10 Glenlockhart Bank Edinburgh EH14 1BL, a property which is owned by the appellant.
- 1.3 CEC’s reasons for refusal of the application were:
1. The proposal is contrary to the relevant adopted Local Development Plan Policies in respect of Design Quality and Context, as the development shall negatively impact the character and appearance of the area around it (Policy Des 1).
 2. The proposal is contrary to the relevant adopted Local Development Plan Policies in respect of Development Design - Impact on Setting, as the street has a settled townscape character, and the proposal does not have similar characteristics to the surrounding buildings and urban grain (Policy Des 4).
 3. The proposal is contrary to the relevant adopted Local Development Plan Policies in respect of Housing Development as the proposal is not compatible with other policies in the plan (Policy Hou 1).
 4. The proposal is contrary to the relevant adopted Local Development Plan Policies in respect of Housing Density, as the proposal could not respect the established density and layout of the area (Policy Hou 4).
- 1.4 Other than the reasons for refusal above, the other technical consultees raised no objections. On all other grounds the application was therefore acceptable.

Consultee	Response
CEC Roads Authority	No Objection. Application was considered compliant with Policy Tra 2 and 3.
Scottish Environmental Protection Agency (SEPA)	No objection - no risk of surface water flooding. Application was considered compliant with Env 21.



1.5 The remaining sections in this appeal statement comprise:

- A description of the appeal site and surrounding context (Section 2).
- A description of the proposed development (Section 3)
- The appellant's grounds for appeal (Section 4)
- Material considerations in favour of the appeal proposals (Section 5)
- Summary of the appellant's case (Section 6)

1.6 This appeal statement should be read in the context of all supporting evidence documents submitted as appendices to this appeal statement, and all those from the previous planning application which are listed below:

Appendix	Appeal Document Description
1	Site Photos - Site and Surrounding Area (Ferguson Planning)
2	Historic Plan of the Area (NLS, 1968)
3	Density Plan of the Area (Gray Macpherson Architects)
Document from Original Planning Application	
Author	
CEC Decision Notice and Officers Report	CEC
Architectural Drawings <ul style="list-style-type: none"> ▪ Location Plan ▪ Block Plan ▪ Existing Floor Plan ▪ Existing North - West Elevations ▪ Existing East - South Elevations ▪ Proposed Floor Plan ▪ Proposed Roof Plan and Section ▪ Proposed North - West Elevations ▪ Proposed East - South Elevations ▪ Rendered West - North Elevations ▪ Rendered East - South Elevations 	GMA
Design Statement	GMA
Structural Engineers Report	Create Engineering

1.7 This appeal is made to the Local Review Body on the basis it was a local application, which was determined by delegated powers. For the reasons outlined in this statement, we conclude that the development is in accordance with relevant development plan policies and supported by significant material considerations. On that basis, we respectfully request that this appeal is allowed.

2. SITE CONTEXT AND PLANNING HISTORY

- 2.1 The proposal is to convert the existing swimming pool building, in the rear garden of 10 Glenlockhart Bank, into a new family home. The location of the swimming pool and extent of the proposed site is shown in Figure 1 below.
- 2.2 The property at 10 Glenlockhart Bank was purchased in 1977, and the swimming pool existed then. It is a substantial building which is believed to have been built in the late 1960s or early 1970s. The building has not been used for several years and is now beginning to degrade, as shown in **Appendix 1**.



Figure 1: Aerial view of site location with site extent outlined in red

- 2.3 In planning terms, the site is located on 'white land' within the general 'urban area'. The current buildings on site are neither statutorily listed, or within a conservation area. To the immediate east of the site is Craighall Hill. This is designated as a local nature reserve, special landscape area, conservation area and open space.

Planning History

- 2.4 An application for planning consent to demolish the swimming pool and replace it with a new house (19/02444/PPP) was previously refused and that decision was subsequently upheld at appeal. The appeal now proposes the re-use of the existing swimming pool building, therefore overcoming the previous grounds for refusal.

3. PROPOSED DEVELOPMENT

3.1 The proposals seek planning permission for the following:

"Convert existing redundant swimming pool building into a separate private family dwelling house within the curtilage of an existing house. (As amended)"

3.2 The proposed site layout is set out below (Figure 3).

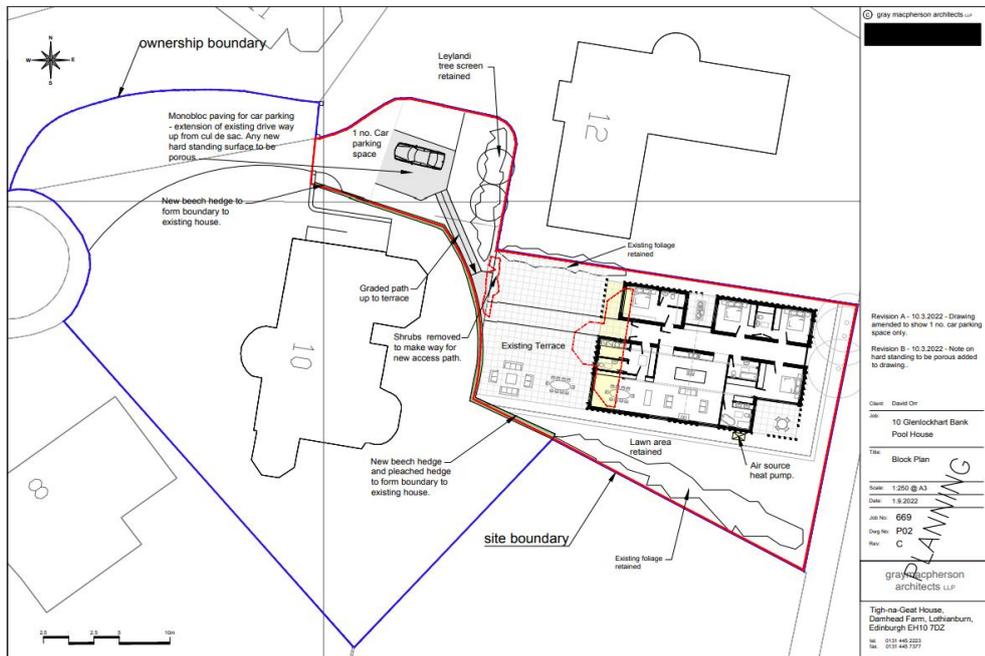


Figure 2: Extract from Proposed Block Plan P02 (Revised) (GMA)

3.3 The proposals seek to re-use and convert the existing swimming pool structure to create a new four-bedroom family home. The enclosed structural engineering report concludes that the structure is capable of conversion and can be satisfactorily transformed into a first class, sustainable modern family home.

3.4 Design, Appearance and Materials

3.5 The entrance to the swimming pool is currently via a white timber painted conservatory which was added in c.2007. The proposals will remove the conservatory and replace with a continuation of the portal frame to form a new entrance on the west elevation.

3.6 The existing rendered walls will be insulated and clad in a mixture of zinc panels and zinc clad vertical fins. The roof will also be highly insulated and clad in zinc.



Windows will be triple glazed aluminium clad timber windows. As well as zinc clad fins the new entrance will have timber fins to mark and soften the entrance. The intention is to heat the building with an air source heat pump.

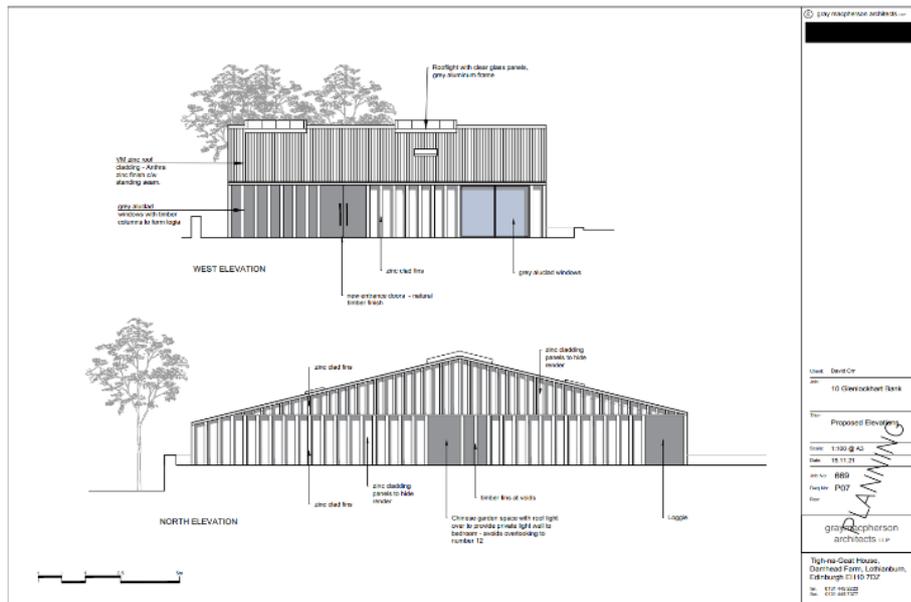


Figure 3: Proposed West (facing No 10) and North Elevation (facing No 12)



Figure 4: Proposed Rendered West (facing No 10) and North Elevations (facing No 12)

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Landscaping

- 3.7 The existing terraced area to the front of the swimming pool provides a large open garden space. This will be screened from the back of the existing main house with new beech and pleached hedging.
- 3.8 Existing lawned areas will be retained. Foliage screening to the neighbouring property at No 12 will also be retained to maintain the privacy between the properties.
- 3.9 There are many existing trees surrounding the site with Craiglockhart Wood to the east. Apart from removal of some smaller bushes to allow for the creation of a path from the terrace to the car parking area, there are no trees affected by the proposal.

Access

- 3.10 A new car parking area will be created by re-using part of the existing mono-bloc driveway of No 10 to provide one car parking space. Any new hard standing that is required will also be porous.
- 3.11 A new garden path will be created that will lead up from the car parking area to the terrace and new front door of the converted swimming pool.

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4. GROUNDS OF APPEAL

CEC's Reason for Refusal #1

- 4.1 *The proposal is contrary to the relevant adopted Local Development Plan Policies in respect of Design Quality and Context, as the development shall negatively impact the character and appearance of the area around it (Policy Des 1).*

Appellant's Response

- 4.2 The appeal site is discretely tucked away to the rear of the appellant's existing property. Due to the natural vegetation, dense tree planting, and topography of the area, the existing swimming pool is largely hidden from view from both the street and neighbouring dwelling to the north (No 12) by existing vegetation. As the series of aerial images below show, the appeal site already forms an existing and established part of the townscape and landscape setting which has grown up around it.

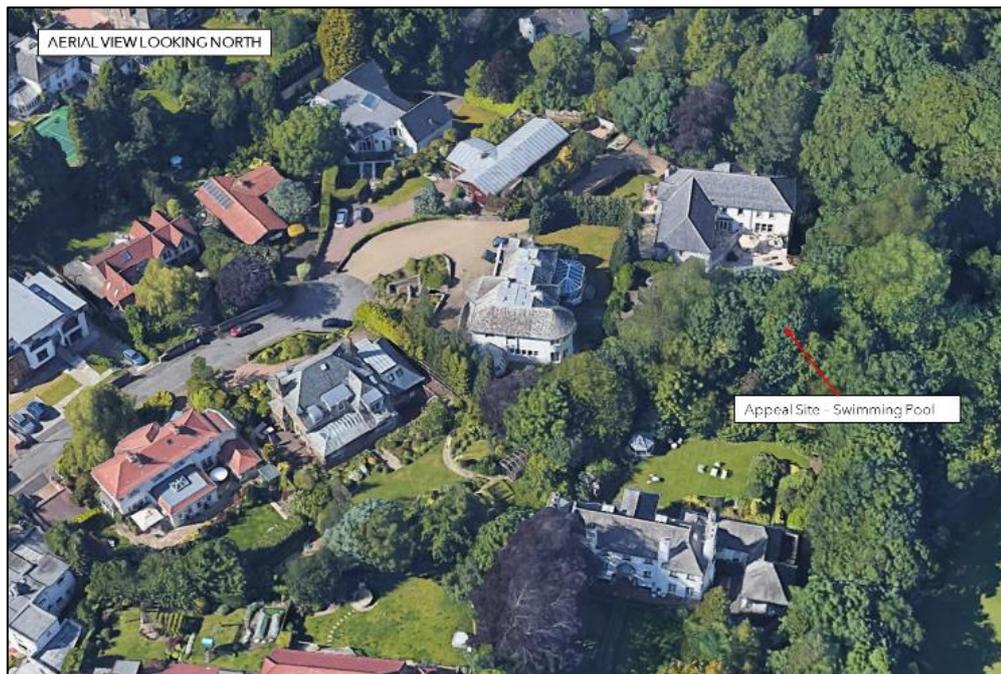


Figure 5: Aerial view of the appeal site looking north.

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Figure 6: Aerial view of the appeal site looking east.



Figure 7: Aerial view of the appeal site looking west.

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Figure 8: Aerial view of the appeal site looking south.

- 4.3 The series of aerial images above clearly shows that the site is barely visible within the local area. On that basis, we challenge the assertion that the proposals will be damaging to the character and appearance of the area at all.
- 4.4 The fact remains that the swimming pool building exists and has done for over 40 years. The proposal is for retention and conversion, not a new build development. The footprint, scale and massing of the existing building will largely not change.
- 4.5 The changes proposed externally, will include the removal of a tired and degrading conservatory. The existing building will then be re-clad in zinc and timber, with new window and door openings created, which are sympathetic to the relationship with the neighbouring properties in terms of privacy.
- 4.6 These proposals will provide for a vital new use for a run-down swimming pool that is no longer in use. It will be given a high quality and modern face lift, which will vastly improve the appearance of the building compared to its current state.
- 4.7 There are already several buildings in the immediate local area which have a similar modern aesthetic, as they have been developed on infill sites over time and they provide a harmonious addition to the varied architectural landscape. Please refer to **Appendix 1** for examples. The proposals will therefore complement the evolving character of the local area.



- 4.8 Based on the above, it is evident that the proposals will in fact have a positive impact upon the character and appearance of the area around it and is therefore compliant with Policy Des 1.

CEC's Reason for Refusal #2

- 4.9 *The proposal is contrary to the relevant adopted Local Development Plan Policies in respect of Development Design-Impact on Setting, as the street has a settled townscape character, and the proposal does not have similar characteristics to the surrounding buildings and urban grain (Policy Des 4).*

Appellant's Response

- 4.10 The officer says that *"the area surrounding the site is primarily residential in nature, characterised by large, detached dwellings. The houses have private front and rear gardens which can be quite substantial. The nearby dwellings are characterised by their low-density layout and a good degree of separation"*.
- 4.11 In our view, the officer has mischaracterised the area and ignores the unique pattern of development which has evolved historically in this location over time. We do not believe a site visit can have been undertaken for the officer to have come to this conclusion.
- 4.12 Craiglockhart Bank is a cul-de-sac and whilst we agree it consists predominantly of large exclusive family homes, they are all varying architectural styles dating from early 1900s to the present day. Many of the houses have been clearly adapted and extended over time including the addition of outhouses with the gardens.
- 4.13 When looking at the layout of the houses on a 2-dimensional plan, the layout and special relationship appears fairly linear. The reality is quite different. The change in level across the site means that each of the houses is viewed at differing levels. Some houses are viewed looking down onto their roofs and some houses are viewed head on. The large houses to the back of the site, are high up and accordingly have a completely different character to the houses below. The overall effect of this creates the impression of a site that is quite random that has naturally evolved over time. This also affects the spatial relationship between the houses. Some plots appear to be shoe-horned into the space while others appear to be set into generous gardens. There is no consistency, like the officer suggests, but a rich variety of spaces and this is the essence and quality of this site.

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4.14 This can be seen on the aerial images above, and in the pictures at **Appendix 1**. To illustrate this point further, we have included three maps below (and at **Appendix 2**) demonstrating the historic evolution of built development in the immediate area.

4.15 The first map, published in 1949, shows the appellant's property (No 10) and the outline of the swimming pool site to the rear. In this period, there are still only a few other houses on Glenlockhart Bank, all large, detached dwellings with sizeable garden areas. There appear to be several remaining plots delineated for future development.

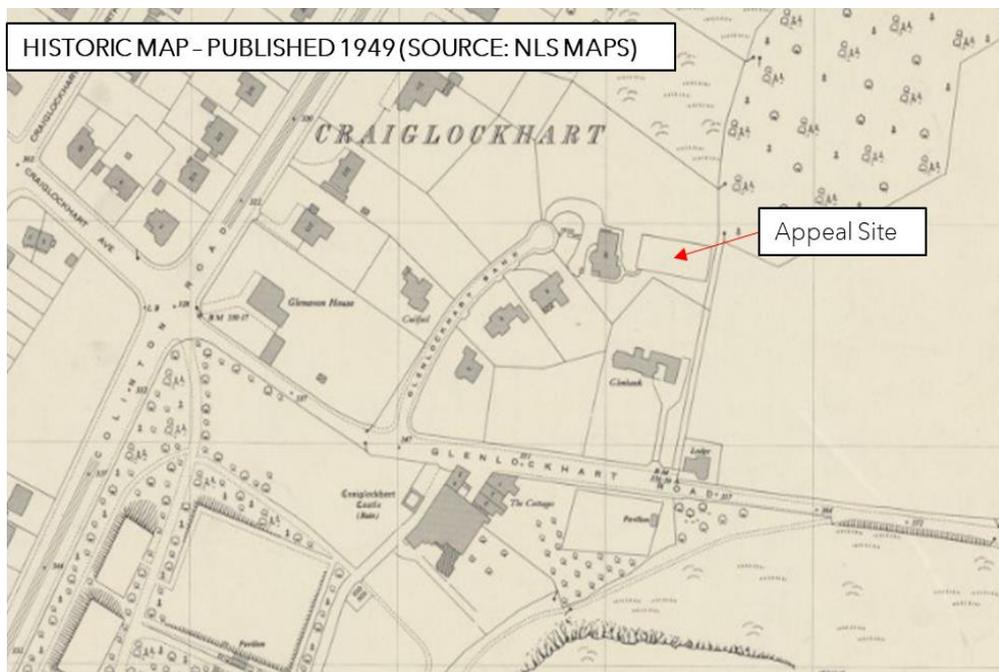


Figure 9: Historic Map (1949) - NLS

4.16 As time progresses, the later map from 1968 below, shows how further infill development takes place with the development of new homes and outbuildings (possibly garage) on Glenlockhart Bank, as well as Glenlockhart Road. It is notable that the road known as Glenlockhart Valley to the north, does not yet exist and this remains open space.

4.17 It is clear from both historic maps, that the appeal site has always been distinct from the rest of the house and garden with a path leading up to it, in the map below - perhaps a raised terrace or courtyard.

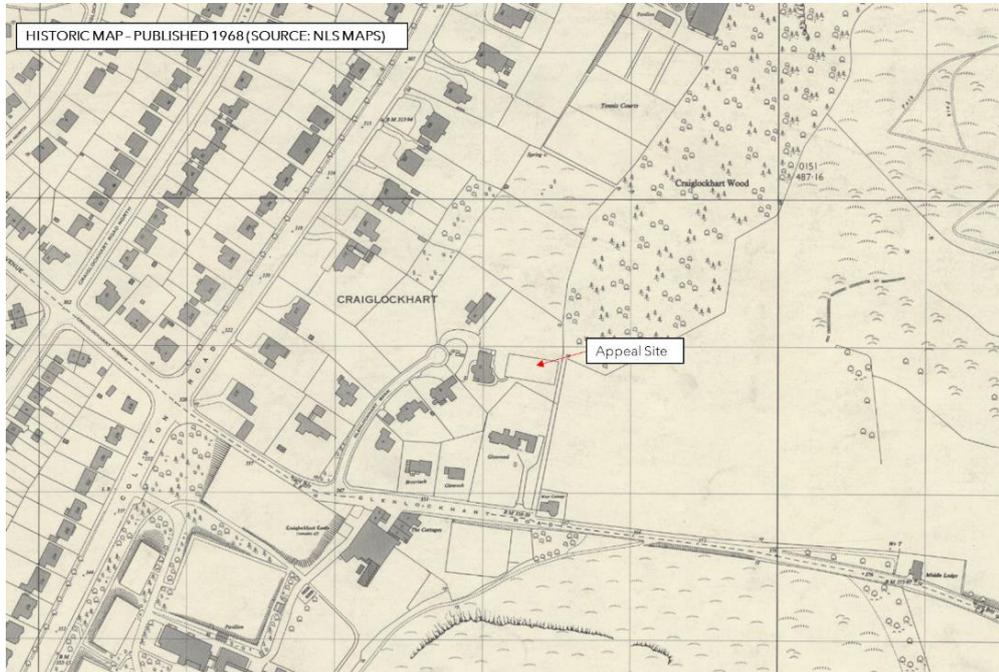


Figure 10: Historic Map (1968) - NLS

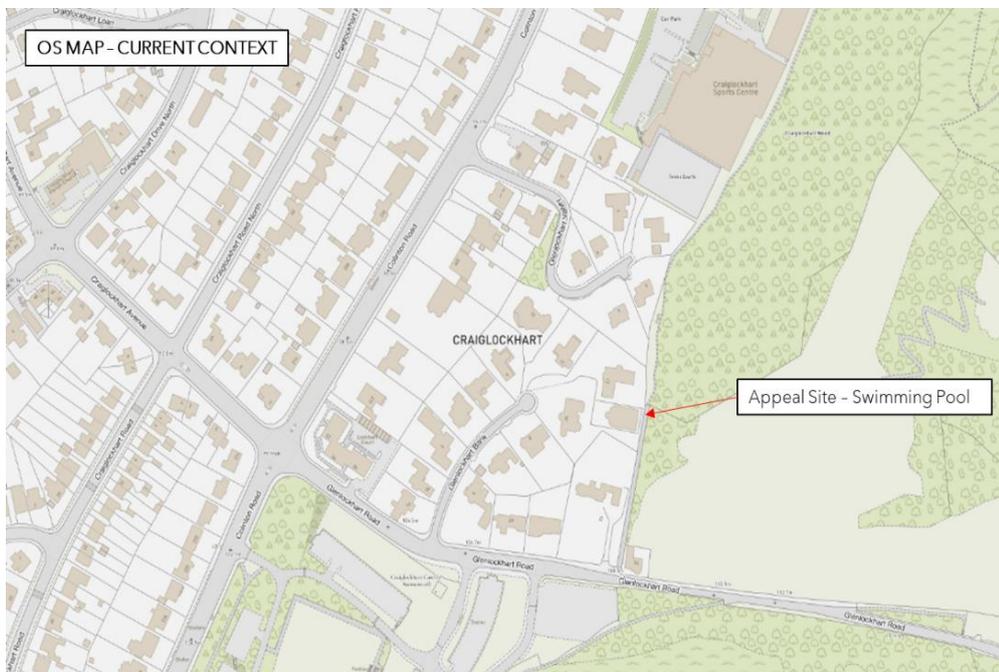


Figure 11: Current OS Map showing how the development of the area has evolved since 1968.

4.18 Finally, the recent OS Map above shows that the 1970s onwards saw a rapid growth in the development of this area. There is evidence that plots have subsequently



been subdivided, including for the development of the property at No 12 Glenlockhart Road, adjacent to the appeal site. Plots on Glenlockhart Road also appear to have been created by the subdivision of rear gardens of those properties on Colinton Road. Generally, there has also been an expansion in the size of properties through extensions, to fill the existing plots.

- 4.19 The development on Glenlockhart Valley to the north of the site, is also shown on the OS Map. A new access road was created between two dwellings on Colinton Road, and a denser form of development can be seen with smaller plot sizes because of subdivision.
- 4.20 Based on the evidence above, the settled townscape character is one that has evolved over time. It is not uniform, but it is this which gives the area its character. The swimming pool is very much part of this historical narrative of development, having now been in existence for over 40 years. It is therefore an established part of the local urban grain.
- 4.21 Instead, we consider that the sensitive upgrading of the existing building, will have a positive impact on its surroundings. It will not fundamentally change the character of the wider townscape and landscape, as the building exists. The proposed access will utilise an existing area of hardstanding and existing natural break in the boundary wall of No 10.
- 4.22 The officer also describes the proposals as back-land development in their report and uses this as a reason for refusal. However, we consider that they have fundamentally missed the point of these proposals by doing so. The Edinburgh Design Guidance (EDG) refers to back-land development in relation to new development and the position of new buildings on site [our emphasis].
- 4.23 Clearly, in this case, the swimming pool building already exists. Regardless of whether it is ancillary in use to the main use of the dwelling house at present, the physical form of the building is present and has existed for over 40 years. It is as much a part of the character of the area as any of the other new developments.
- 4.24 Nevertheless, the EDG says back-land development may be acceptable where it would not disrupt the spatial character of the area and the amenity of future residents, and residents of adjacent properties.
- 4.25 The proposals will not disrupt the spatial character of the area, as that character has already been formed with the presence of the existing pool building. The re-use and upgrade of the existing building has been designed sensitively and

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sympathetically so as to provide a high-quality family home, whilst protecting the privacy and amenity of the adjacent properties.

CEC's Reason for Refusal #3

4.26 *The proposal is contrary to the relevant adopted Local Development Plan Policies in respect of Housing Development as the proposal is not compatible with other policies in the plan (Policy Hou 1).*

Appellant's Response

4.27 The application site is defined as being part of the urban area in the adopted LDP. The principle of housing development at the site is therefore acceptable if the proposals are compatible with other policies in the plan. Compliance with other policies in the plan is addressed in response to the Council's three other reasons for refusal. The proposal is therefore compliant with LDP policy Hou 1.

CEC's Reason for Refusal #4

4.28 *The proposal is contrary to the relevant adopted Local Development Plan Policies in respect of Housing Density, as the proposal could not respect the established density and layout of the area (Policy Hou 4).*

Appellant's Response

4.29 The diagram below (and at **Appendix 3**) illustrates the density of neighbouring properties in relation to their respective site extents. The built footprints of the neighbouring properties occupy from 10% to greater than 31% of their plot size, as illustrated by the key.

4.30 The appeal site has a density of 20-29% which is in line with the established street pattern. The density of development on the site has evolved historically and is therefore considered appropriate and in-keeping with the surrounding context.

4.31 The proposals do not seek to significantly change the extent of the form or mass of the existing swimming pool building. We would therefore challenge even the principal of whether the proposals are able to disrespect the established density and layout, given the swimming pool is already very much part of the established urban grain and has been for the last 40 years.

4.32 Nevertheless, based on the diagram below and the images contained within supporting document, we consider the proposals are compliant with Policy Hou 4.

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Figure 12: Housing Density Plan for Site and Surrounding Context

OTHER CONSIDERATIONS - ADDRESSING NEIGHBOUR OBJECTIONS

4.33 The proposals received 6 neighbour objections. Whilst these were addressed by the officer and were either addressed by the statutory consultees or not considered to be reasons for refusal, we have summarised the key concerns and respond to each in turn for completeness.

Neighbour Comment	Response
Access via a narrow private road - traffic and parking	Properties in this area should have maximum parking provision of 1 space per dwelling. The application, as amended, complies with the Council's standards. The Roads Authority has been consulted on this scheme and offers no objection to the proposals.
Impact on existing drainage and sewage system due to increase in hard standing - experience flooding during heavy rainfall.	The Scottish Environmental Protection Agency (SEPA) flood maps show that there is no risk of surface water flooding within the radius of the site. The application complies with LDP policy Env 21.

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Sewage/drainage at capacity	Scottish Water raised no issue with the previous application. Swimming pool, and changing rooms are already connected to the existing sewage/drainage - unlikely that a significant upgrade is required. Existing mono-block can be re-used for the parking area where possible, and any new hardstanding will be porous.
Access to new house difficult for immediate neighbours	Access to the new house (swimming pool) already exists given that the swimming pool is there. There is sufficient paved area attributed to No 10 to create a new parking space without affecting any other neighbours.
Construction congestion / worsening of road condition	The appellant would be happy to accept a construction management plan as part of any permission to manage these issues and provide any necessary mitigation.
Land ownership - overlap in title with No 12	The site plan has been updated to address this minor issue. Previous error due to lack of information on the base OS plan. Please refer to updated plan and note submitted with the appeal.
Impact on privacy on No 12 due to proximity of swimming pool	There is currently a large picture window overlooking 12 Glenlockhart Bank. This will be removed improving the privacy to number 12. The officer agreed that the proposal has been designed to limit any outlook from the dwelling by virtue of window positioning and the use of natural screening around the perimeter of the site. They stated that, <i>"Windows on the north elevation have been positioned to face the private 'Chinese garden', thereby limiting the potential outlook to the north. The design and positioning of the proposals shall have no material impact on neighbour's privacy. The proposal was not considered to have any unreasonable impact on neighbouring amenity therefore complies with LDP policies Des 5 and Des 12"</i> .
Noise / disturbance from use of property and vehicles	Not considered to be noticeable in context of the wider street and residential area.

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5. MATERIAL CONSIDERATIONS IN FAVOUR OF THE APPEAL PROPOSALS

CEC Local Development Plan (2016)

- 5.1 The Council have not assessed the proposals against Policy Hou 5 (Conversion to Housing) which seems remiss given the nature of the proposals and the support it offers for the application.
- 5.2 Policy Hou 5 says that, *"Planning permission will be granted for the change of use of existing buildings in non-residential use to housing, provided: a) a satisfactory residential environment can be achieved b) housing would be compatible with nearby uses c) appropriate open space, amenity and car and cycle parking standards are met d) the change of use is acceptable having regard to other policies in this plan including those that seek to safeguard or provide for important or vulnerable uses"*.
- 5.3 The supporting text to that policy states, *"The recycling of buildings achieves sustainability goals and provides the essential means by which the historic character of different localities can be maintained"* [our underlined emphasis].
- 5.4 The proposals clearly satisfy Policy Hou 5. A good quality residential environment can be achieved, as has been confirmed by the officer, satisfying part (a). The housing would be compatible with nearby uses, given the nature of surrounding development is residential. There are no conflicts in terms of privacy or overlooking, thereby satisfying part (b). The proposals meet all open space, amenity and parking standards required, complying with part (c). We have demonstrated through this statement that the change of use is acceptable regarding other policies, in compliance with part (d).
- 5.5 The proposals overwhelmingly support the Council's ambition to achieve sustainability goals by the re-use of an existing building. The proposals are therefore considered fully compliant with Policy Hou 5, which should be a material consideration in support of these proposals.

Provision of New Family Housing

- 5.6 The proposals will enable the conversion of a redundant swimming pool into a high quality and much needed new family home in Edinburgh. The proposal exceeds the EDG minimum space standards. All the accommodation will be on one floor, so it will provide high quality accessible living accommodation. The proposed bedrooms are organised around a private courtyard which ensures there is no overlooking to the neighbouring property. The main living space which is open plan

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is located on the south and west elevations, taking advantage of the southern aspect and the west facing terrace area. The terraced area to the front will provide a large open garden space. This will be screened from the back of the existing main house with pleached hedging.

- 5.7 The officer considered in his assessment that the proposal will result in the creation of a satisfactory residential environment and complies with LDP policies Hou 5, Des 5 and Des 12.

City Plan 2030

- 5.8 Draft Policy Env 7 (Sustainable Developments) requires that *'all detailed proposals involving the construction or change of use of one or more buildings* must incorporate all reasonably practicable measures to address the climate emergency and contribute to sustainable living'*.
- 5.9 The Council will in future for proposals involving the replacement of existing buildings require a carbon assessment setting out the 'whole-life' carbon footprint of the proposed development compared to the option of re-using the existing building to accommodate the proposed use.
- 5.10 The re-use of the existing swimming pool building will likely have a much lower carbon footprint than a totally new building. In this case, the architect has prepared proposals which allow the existing building fabric to be adapted to create a new family home. This will limit the need to source new materials. It will also limit the pressure on landfill to dispose of the redundant building components that cannot be recycled.
- 5.11 The proposals fully support City Plan 2030, contribute to the reduction in carbon emissions and address the climate change emergency.

Draft National Planning Framework 4 (NPF4)

- 5.12 Draft Policy 2 (Climate Emergency) states that when considering all development proposals, significant weight should be given to the Global Climate Change Emergency, and that all development should be designed to minimise emissions over its lifecycle in line with the decarbonisation pathways set out nationally.
- 5.13 Draft Policy 30 (Vacant and Derelict Land) states that local development plans should seek to re-use vacant and derelict land and redundant buildings as a priority including in proposals to creatively and sustainable repurpose buildings and structures.

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- 5.14 It goes on to say that planning applications for proposals that result in the permanent or temporary reuse of vacant or derelict land and buildings should be supported in principle. It also says that development proposals for the reuse of existing buildings should be supported, taking into account their suitability for conversion to other uses. Demolition should be regarded as the least preferred option [our underlined emphasis].
- 5.15 Given the above, it surely therefore must be concluded that the proposals fully support the ambitions of NPF4 and address the global climate change emergency by making full use of an existing building to create a new family home.
- 5.16 Whilst NPF4 has not yet been approved, the global climate change emergency is an on-going threat to our planet and is why the Council declared a climate change emergency in 2019. Significant weight should be given to this as a material consideration and the proposals should therefore be supported.

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6. CONCLUSIONS

6.1 The submitted appeal, supported by this statement, seeks the Local Review Body's approval to *"Convert existing redundant swimming pool building into a separate private family dwelling house within the curtilage of an existing house. (As amended)"* at 10 Glenlockhart Bank Edinburgh EH14 1BL.

6.2 For the reasons outlined in this statement and summarised below we believe the LRB should allow this appeal because:

- The proposals seek to re-use an existing building to create a high quality and sustainable new four-bedroom family home within the city in line with Policy Hou 1.
- A tired building will be given a high quality and modern face lift, which will vastly improve the appearance of the building compared to its current state. The privacy of the neighbouring properties is unaffected by the conversion of the building into a modern family home. The proposal will therefore positively impact the character and appearance of the area around it, compliant with Policy Des 1.
- The townscape character of the area is one that has evolved over time. It is not uniform, but it is this which gives the area its unique form. The swimming pool is very much part of this historical narrative of development, having now been in existence for over 40 years. It is therefore an established part of the local urban grain, compliant with Policy Des 4.
- The appeal site has a density of 20-29% which is in line with the established street pattern. The density of development on the site has evolved historically and is considered appropriate and in-keeping with the surrounding context, compliant with Policy Hou 4.
- The proposals are supported by Policy Hou 5, which encourages that the *recycling of buildings to achieve sustainability goals and provides the essential means by which the historic character of different localities can be maintained.*
- The structure will be retained and improved, and demolition of an existing building will be avoided. This reuse, and repurposing of materials means that this project is fully endorsed by draft NPF4 which says such proposals for the re-use of buildings should be a priority and supported and helps the Council to address the global climate change emergency.

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6.3 In contrast to the officer's report, we consider the proposals are compliant with policies DES 1, 4 and Hou 1 and 4. We also consider the officer should have referred to Policy Hou 5, which fully supports the proposals. There are also several material planning considerations that weigh in its favour, not least the significant environmental benefits of re-using an existing building, to provide much needed family housing in the city. We respectfully request that this appeal is therefore allowed by the Local Review Body on that basis.

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Appendix 1 - Site Photos (Appeal Site)

Existing entrance to No 10, No 12 and proposed appeal site from Glenlockhart Bank.



Existing driveway to No 10, entrance to No 12 and proposed entrance to appeal site.



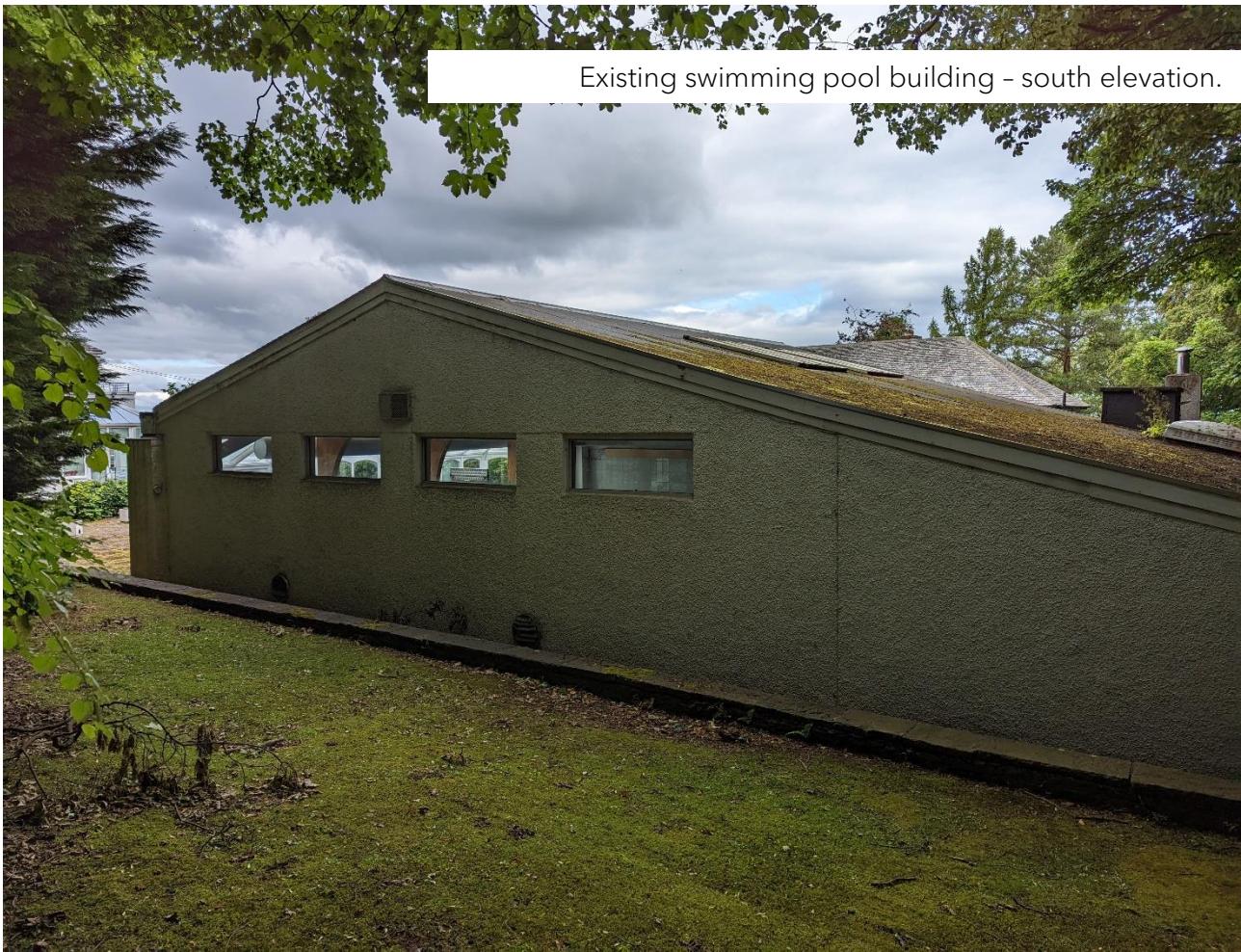
Proposed entrance to appeal site. Existing mono-bloc will be re-purposed for a new parking space at edge of existing garden area to avoid need for further hardstanding.



Existing parking area for No 10.



Existing swimming pool building - south elevation.



View from courtyard of swimming pool back towards the entrance to the site and garden area (remaining)



Entrance to appeal site and existing garden area (remaining). Site is well screened by dense tree planting.



View of swimming pool from rear of No 10 (No 12 is roof to left of picture). Appeal site is well screened from all neighbours by dense vegetation and well established trees (remaining) and set back from rear of No 10.





Appendix 1 - Site Photos (Surrounding Context)



Glenlockhart Bank - Surrounding Townscape - Illustrates existing mix of architectural styles and plot sizes (street on which appeal site is located)





Glenlockhart Valley - Surrounding Townscape (street to the north of the appeal site) - Illustrates existing mix of architectural styles and plot sizes



NT2270 & PLAN NT2370

PARCEL NUMBERS AND ACREAGES
The number and acreage of each parcel of land is shown within the parcel. It is important when identifying a parcel to specify the number(s) of the plan(s) on which it falls.
IN PARCELS DIVIDED BY THE SHEET EDGE, THE ACREAGES ARE SHOWN TO SHEET EDGE ONLY.

Date of Survey or Revision
1:62,500 Scale
with Revised Revision to 1967
1st 1955

1955	1967	1967	1967
1955	1967	1967	1967

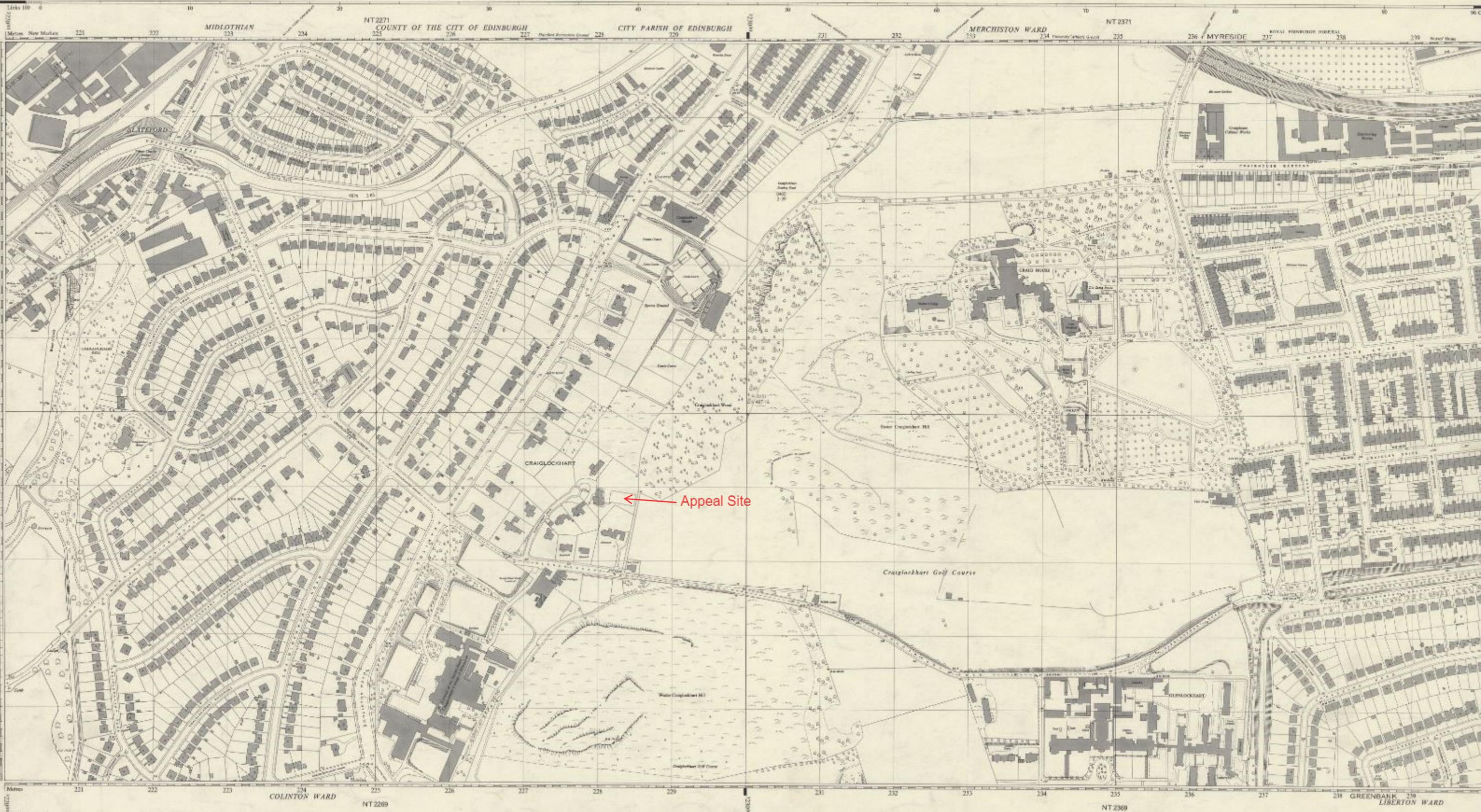
ORDNANCE SURVEY

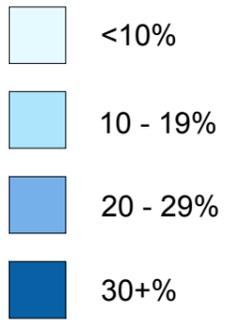
Scale: 1:2500 or 25/344 inches to 1 mile

Levelled 1944/46
Broadened November 1955

The West half of this sheet is Plan NT 2270
The East half of this sheet is Plan NT 2370

PLAN NT2270 & PLAN





Client: Susan Bringhurst

Job: 10 Glenlockhart Bank

Title: Density Plan

Scale: 1:2000

Date:

Job No: 669

Dwg No: D01

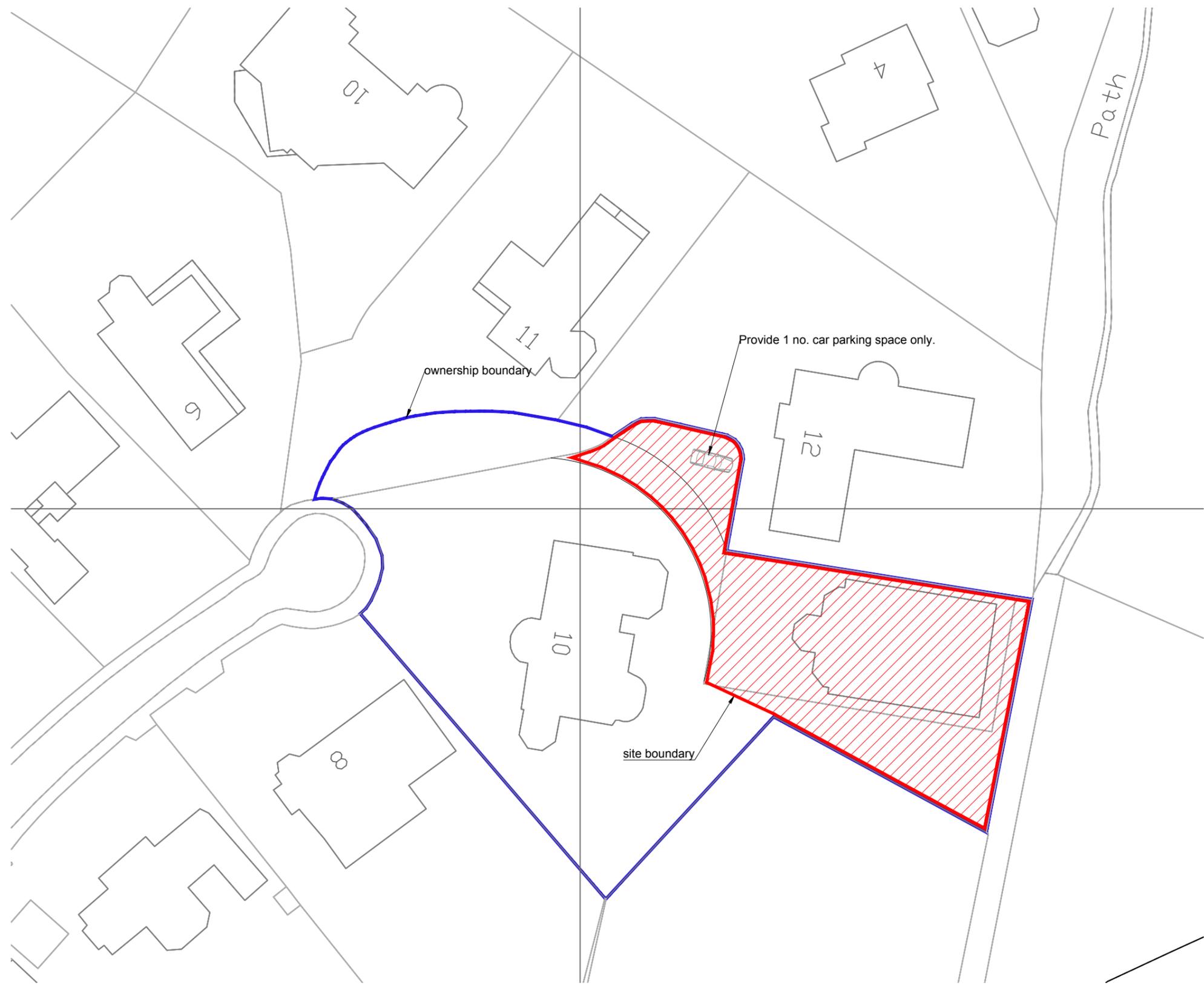
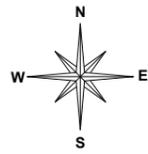
Rev:

graymacpherson
architects LLP

106/7 Biggar Road,
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tel. 0131 445 2223
fax. 0131 445 7377





Revision A - 10.3.2022 - Drawing amended to show 1 no. car parking space only.

Client: David Orr

Job: 10 Glenlockhart Bank Pool House

Title: Location Plan

Scale: 1:500 @ A3

Date: 15.11.21

Job No: 669

Dwg No: P01

Rev: A

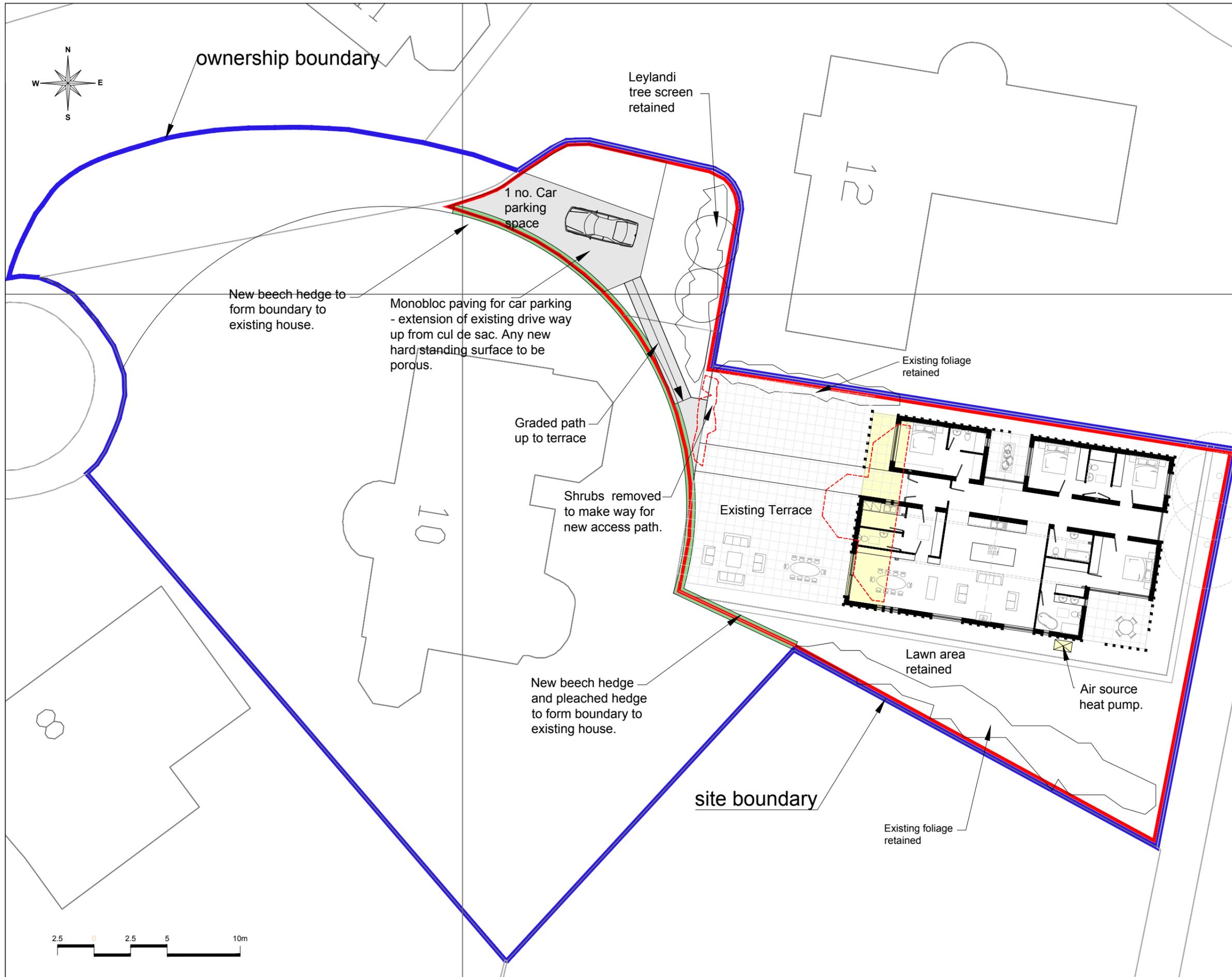
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PLANNING



Revision A - 10.3.2022 - Drawing amended to show 1 no. car parking space only.

Revision B - 10.3.2022 - Note on hard standing to be porous added to drawing..

Client: David Orr

Job: 10 Glenlockhart Bank Pool House

Title: Block Plan

Scale: 1:250 @ A3

Date: 15.11.21

Job No: 669

Dwg No: P02

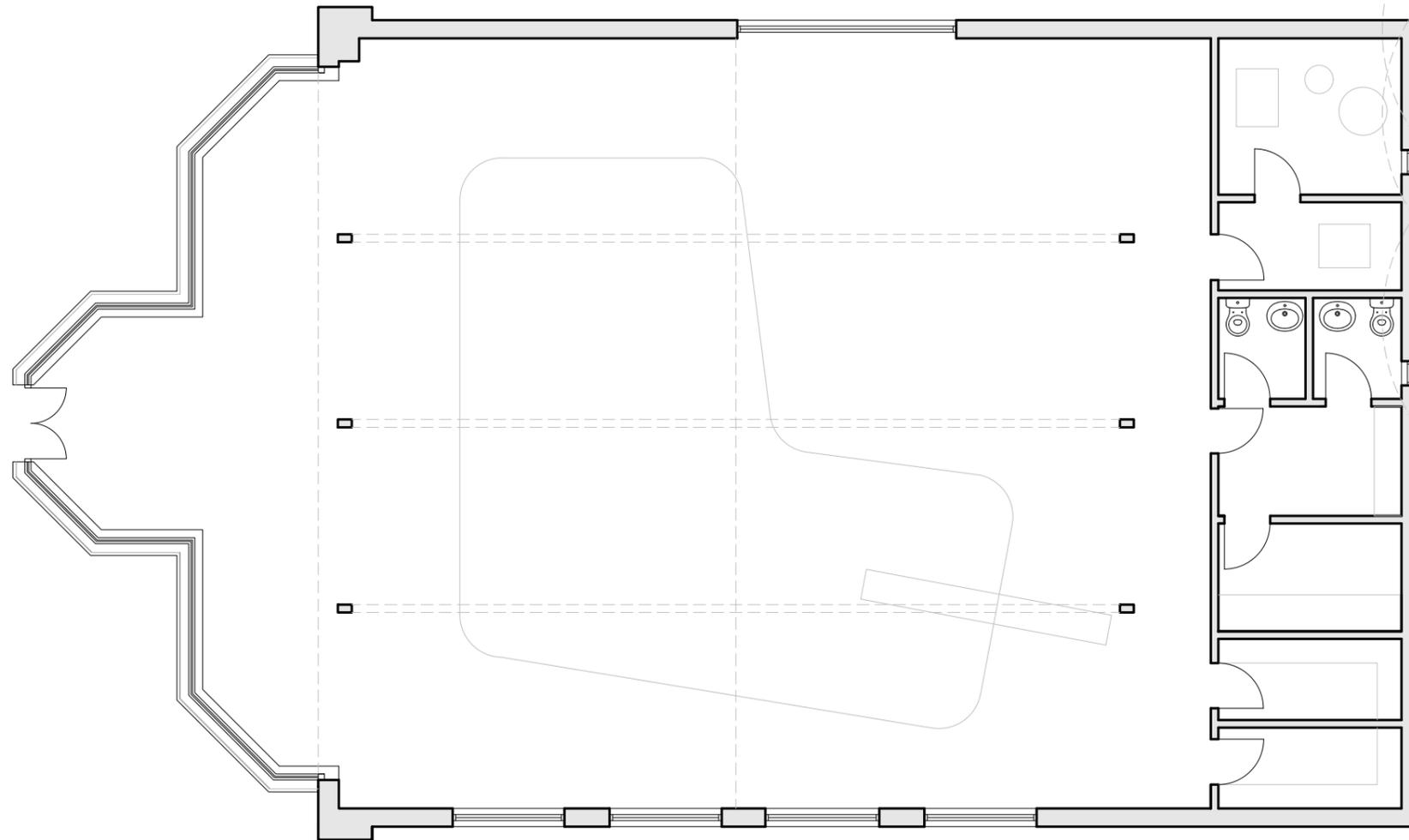
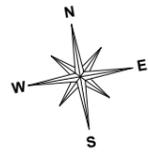
Rev: B

graymacpherson architects LLP

Tigh-na-Geat House, Damhead Farm, Lothianburn, Edinburgh EH10 7DZ

tel. 0131 445 2223 fax. 0131 445 7377

PLANNING



Client: David Orr

Job: 10 Glenlockhart Bank
Pool House

Title: Existing Plan

Scale: 1:100 @ A3

Date: 15.11.21

Job No: 669

Dwg No: P03

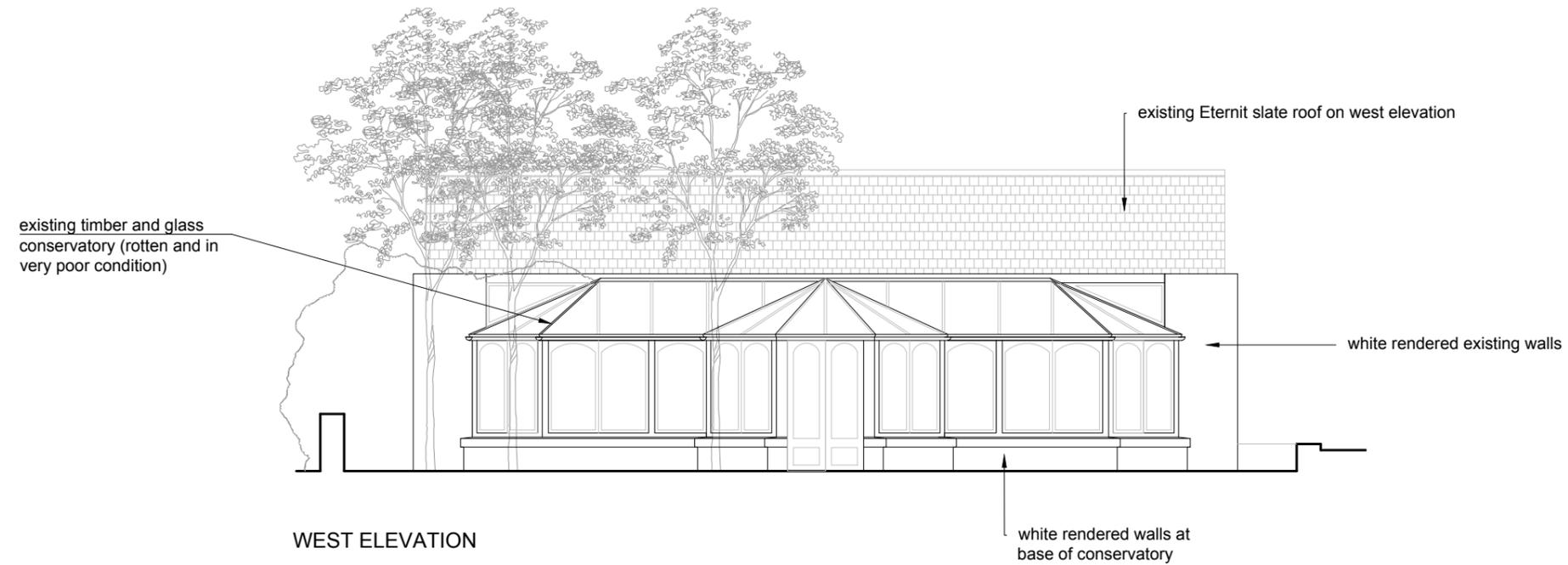
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graymacpherson
architects LLP

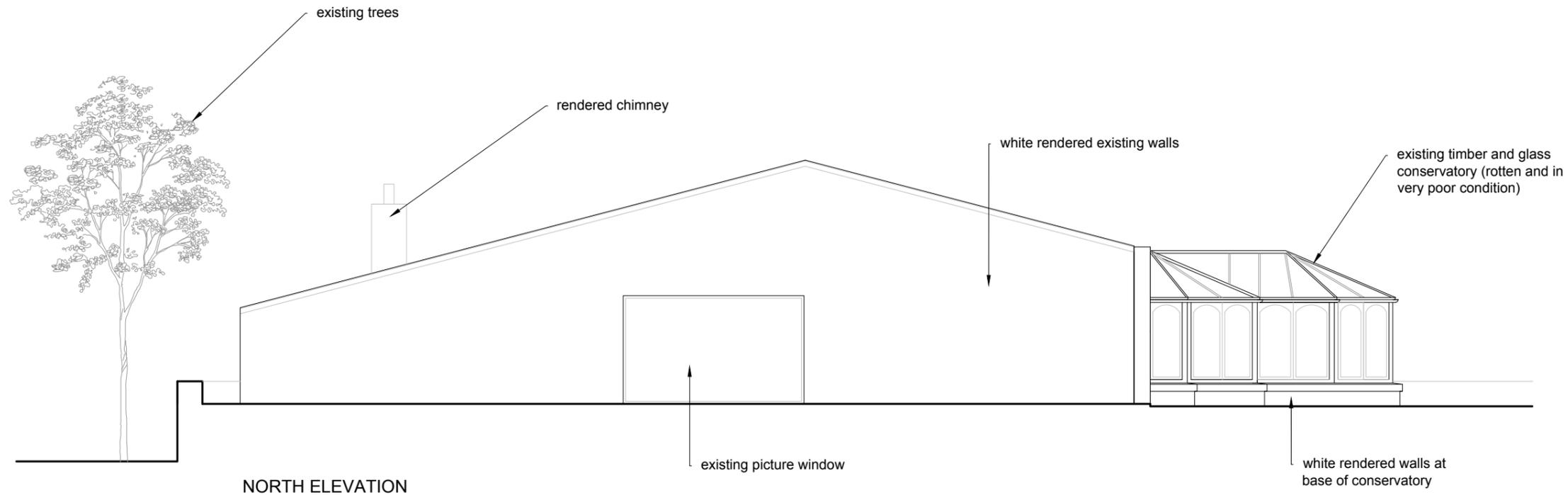
Tigh-na-Geat House,
Damhead Farm, Lothianburn,
Edinburgh EH10 7DZ

tel. 0131 445 2223
fax. 0131 445 7377





WEST ELEVATION



NORTH ELEVATION



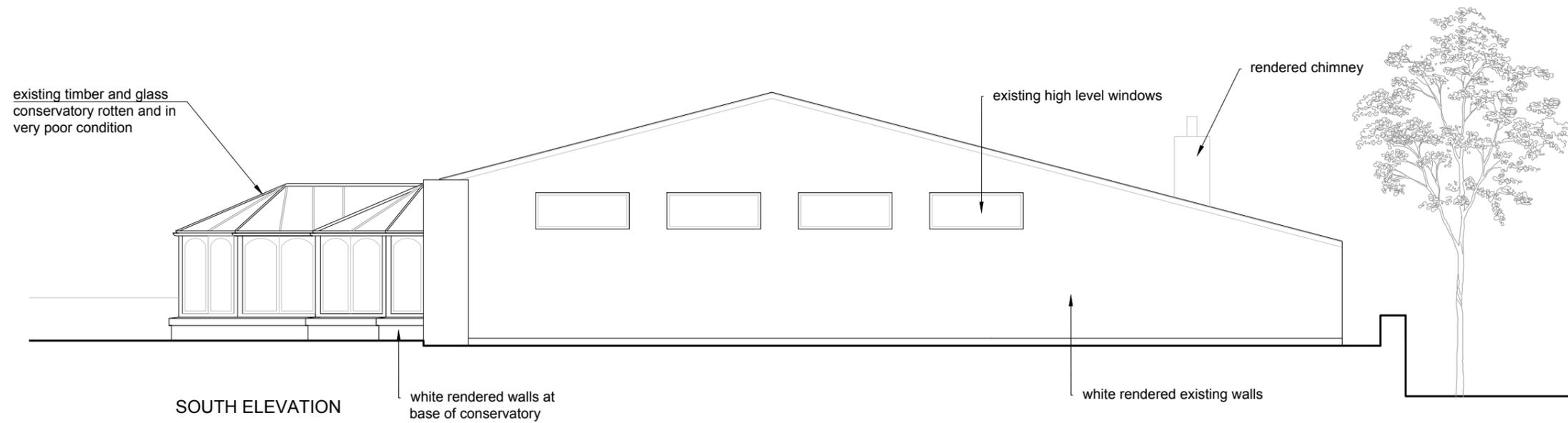
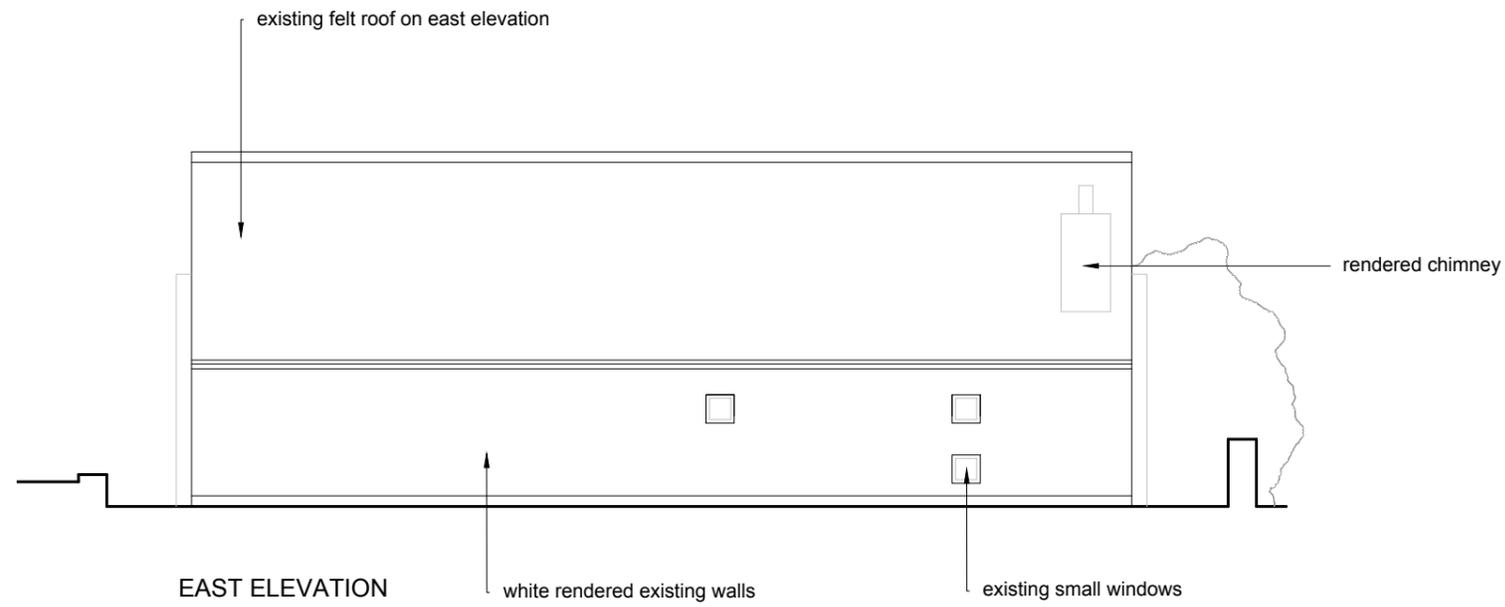
Client: David Orr
 Job: 10 Glenlockhart Bank
 Title: Existing Elevations Pool House
 Scale: 1:100 @ A3
 Date: 15.11.21
 Job No: 669
 Dwg No: P04
 Rev:

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Damhead Farm, Lothianburn,
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PLANNING



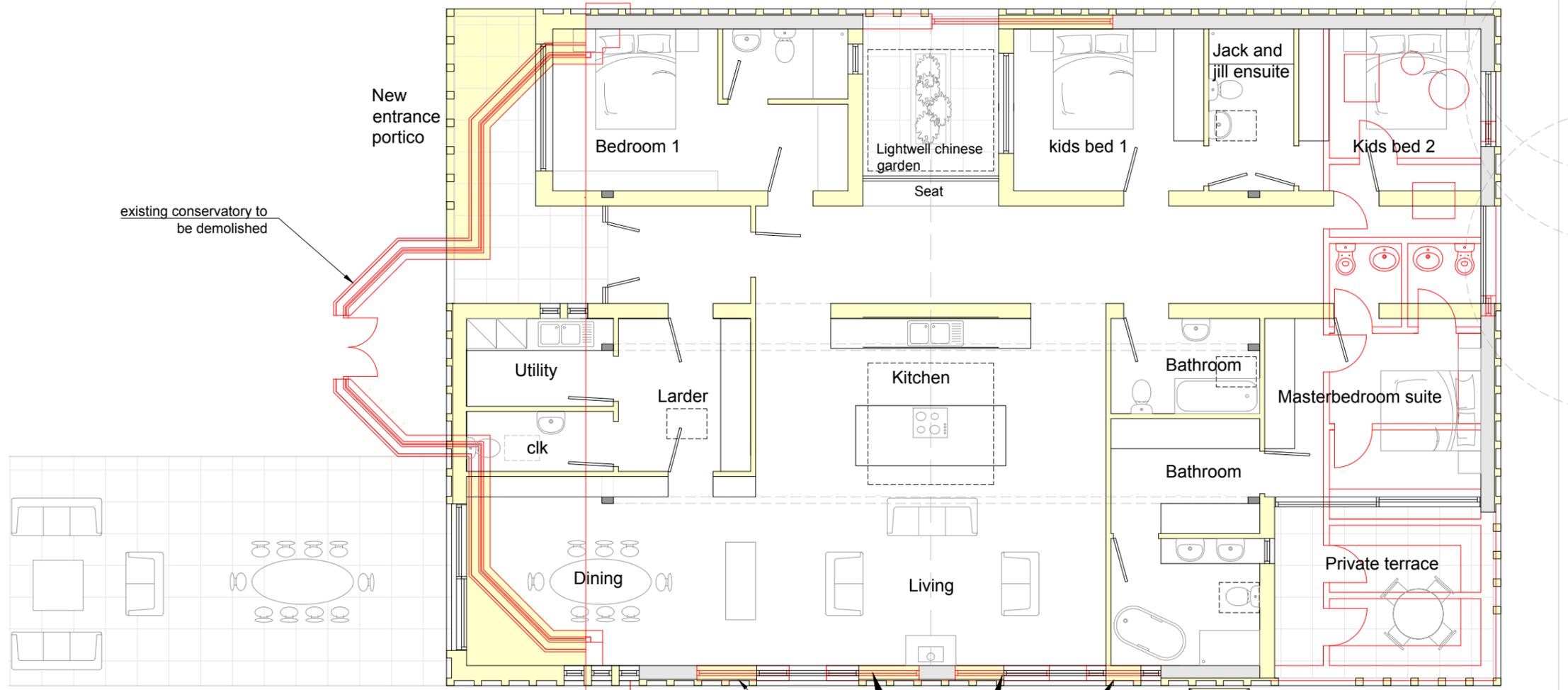
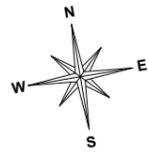
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 Job: 10 Glenlockhart Bank Pool House
 Title: Existing Elevations
 Scale: 1:100 @ A3
 Date: 15.11.21
 Job No: 669
 Dwg No: P05
 Rev:

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Damhead Farm, Lothianburn,
Edinburgh EH10 7DZ

tel. 0131 445 2223
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PLANNING



existing conservatory to be demolished

New entrance portico

Bedroom 1

Lightwell chinese garden

Seat

kids bed 1

Jack and jill ensuite

Kids bed 2

Utility

Larder

Kitchen

Bathroom

Masterbedroom suite

clk

Dining

Living

Bathroom

Private terrace

PROPOSED FLOOR PLAN

Existing high level windows omitted. New window openings to south facing garden area

Air source heat pump.



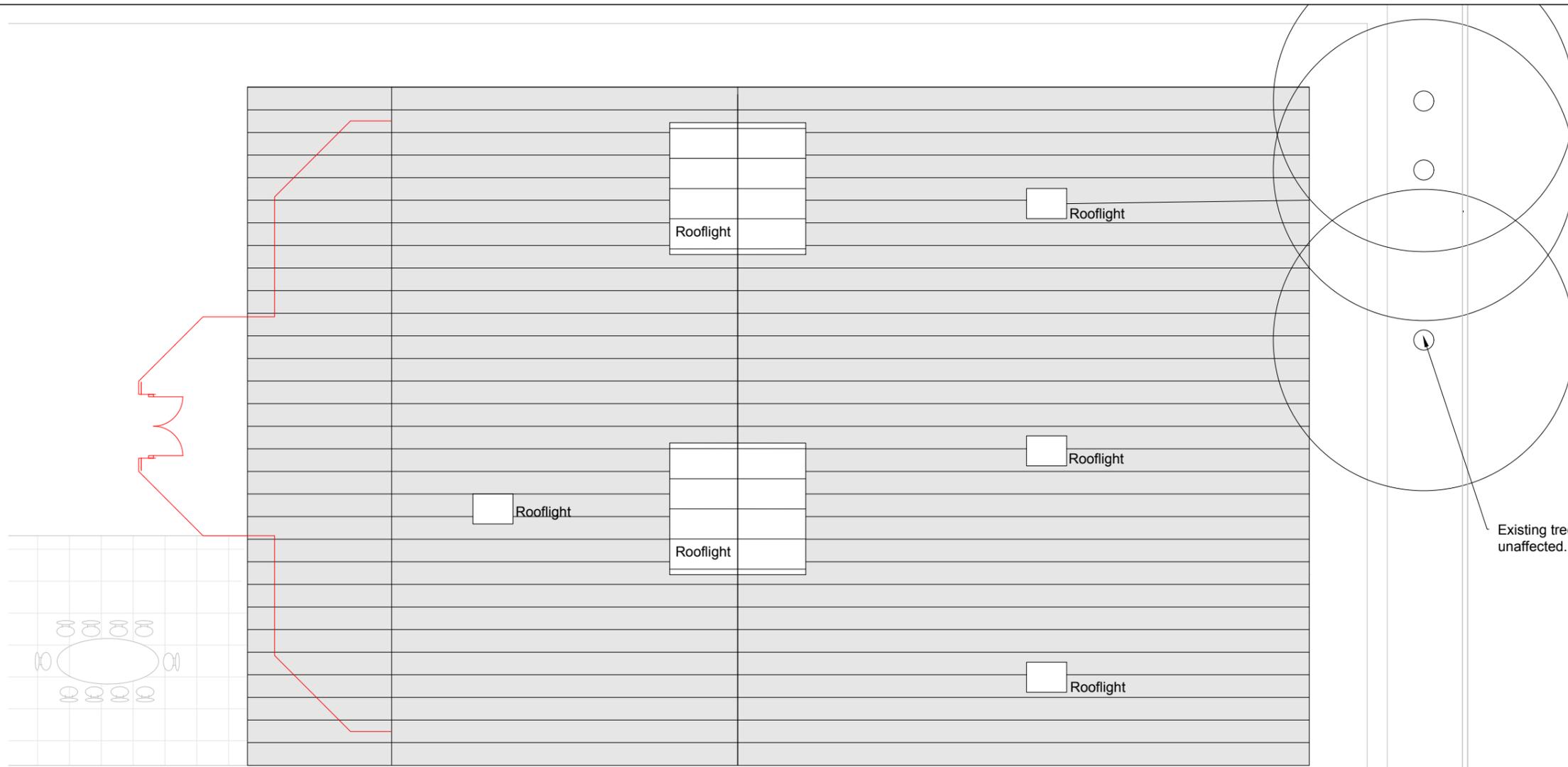
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Job: 10 Glenlockhart Bank Pool House
Title: Proposed Plan
Scale: 1:100 @ A3
Date: 15.11.21
Job No: 669
Dwg No: P06
Rev:

gray macpherson architects LLP

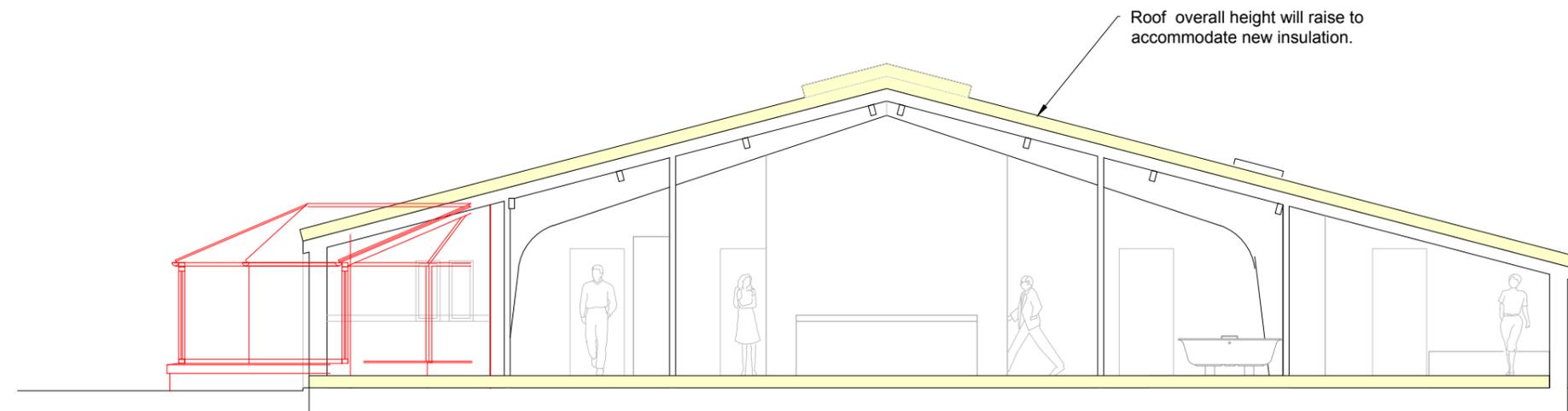
Tigh-na-Geat House, Damhead Farm, Lothianburn, Edinburgh EH10 7DZ

tel. 0131 445 2223
fax. 0131 445 7377

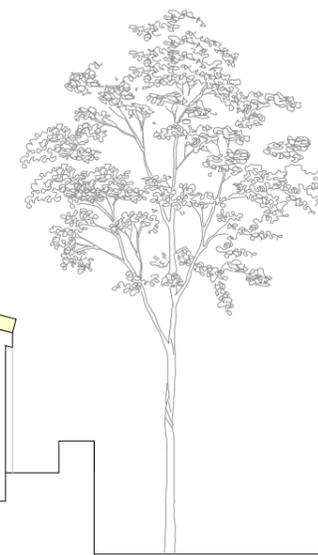
PLANNING



ROOF PLAN



SECTION AA



Client: David Orr

Job: 10 Glenlockhart Bank

Title: Section and roof plan

Scale: 1:100 @ A3

Date: 15.11.21

Job No: 669

Dwg No: P09

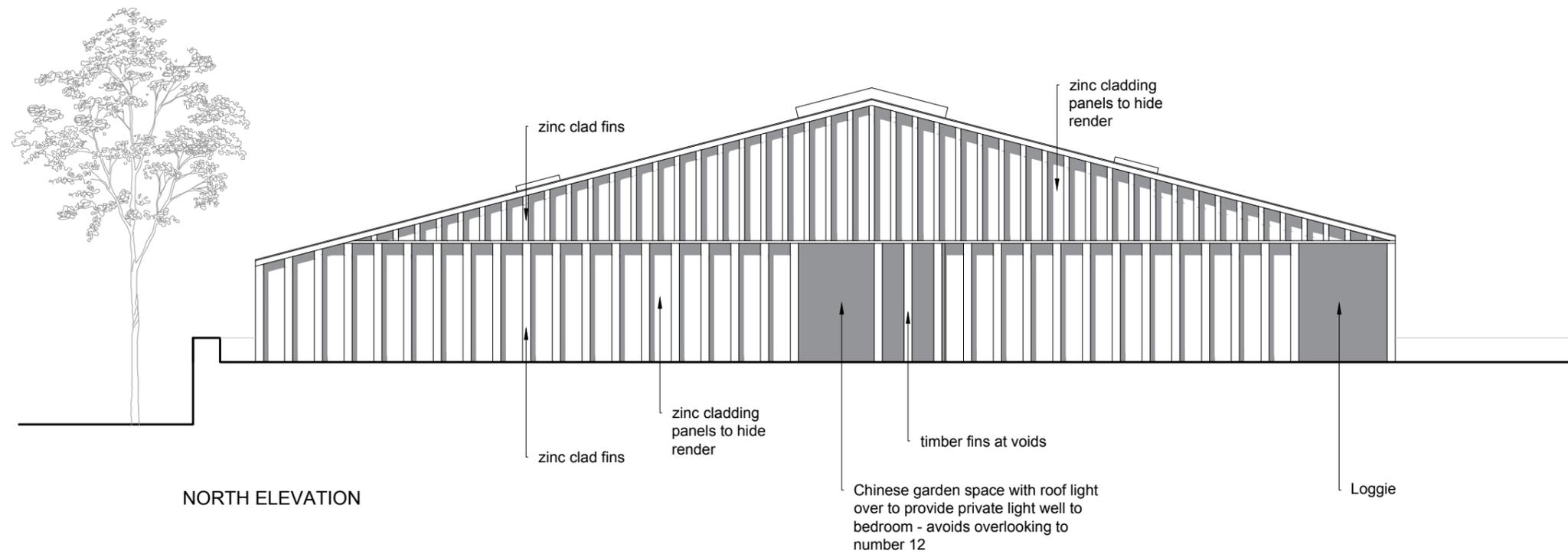
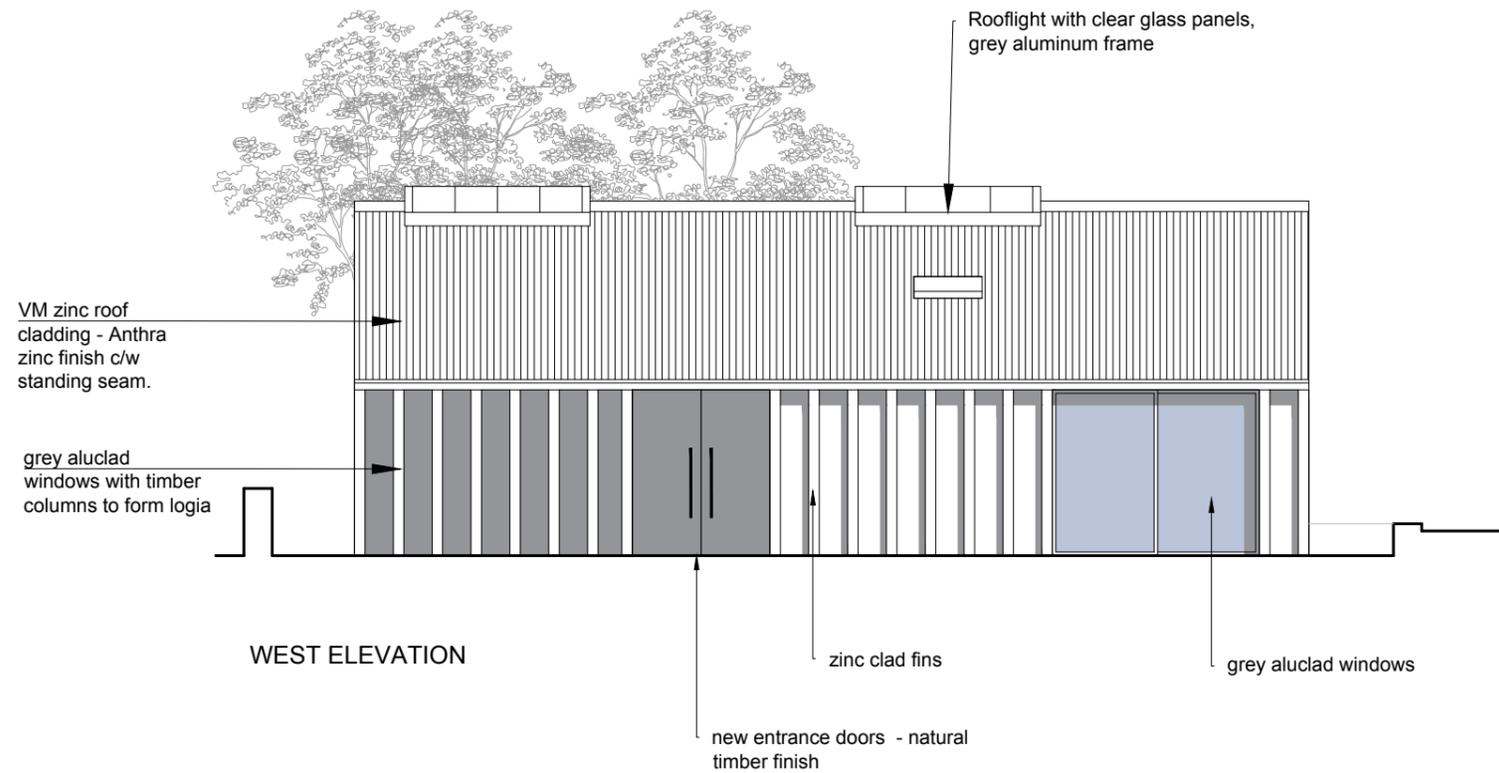
Rev:

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architects LLP

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Damhead Farm, Lothianburn,
Edinburgh EH10 7DZ

tel. 0131 445 2223
fax. 0131 445 7377

PLANNING



Client: David Orr

Job: 10 Glenlockhart Bank

Title: Proposed Elevations

Scale: 1:100 @ A3

Date: 15.11.21

Job No: 669

Dwg No: P07

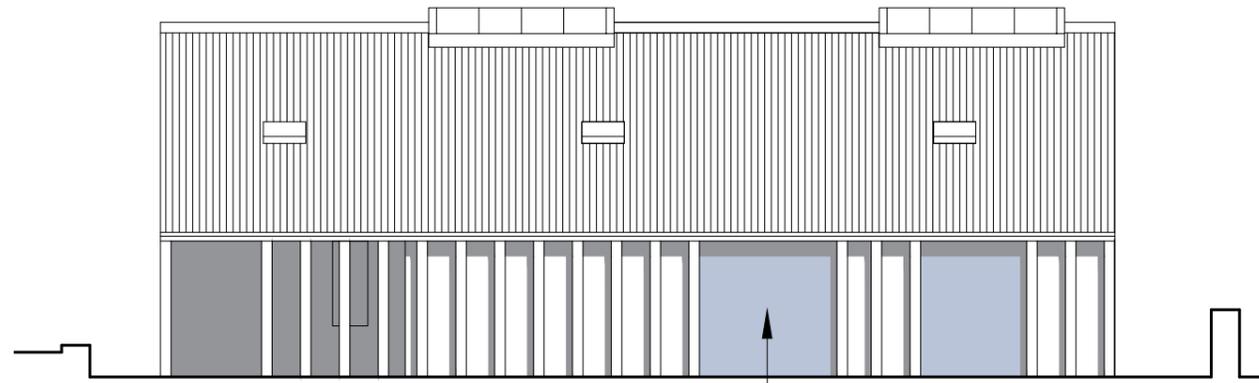
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graymacpherson
architects LLP

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Damhead Farm, Lothianburn,
Edinburgh EH10 7DZ

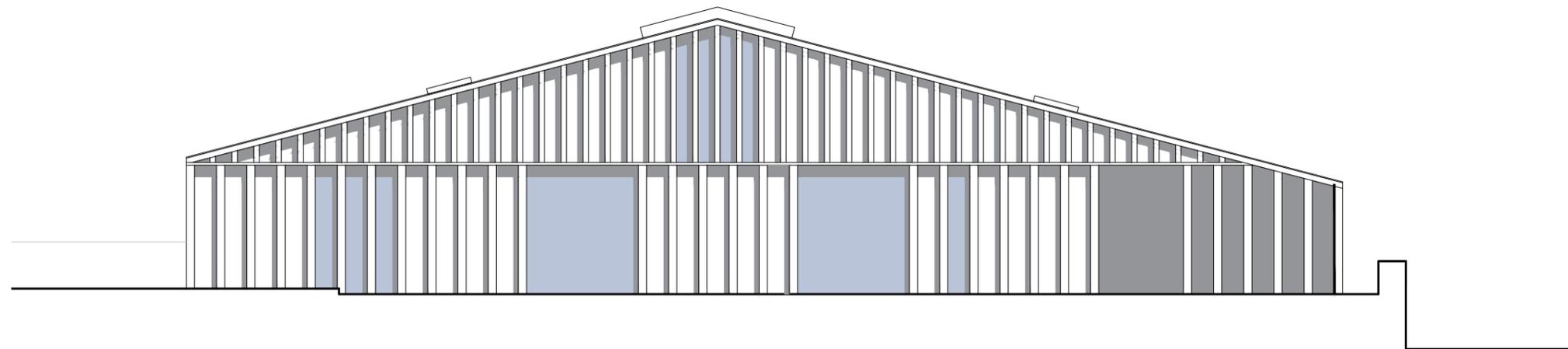
tel. 0131 445 2223
fax. 0131 445 7377

PLANNING



EAST ELEVATION

grey aluclad windows



SOUTH ELEVATION



Client: David Orr

Job: 10 Glenlockhart Bank

Title: Proposed Elevations

Scale: 1:100 @ A3

Date: 15.11.21

Job No: 669

Dwg No: P08

Rev:

graymacpherson
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Damhead Farm, Lothianburn,
Edinburgh EH10 7DZ

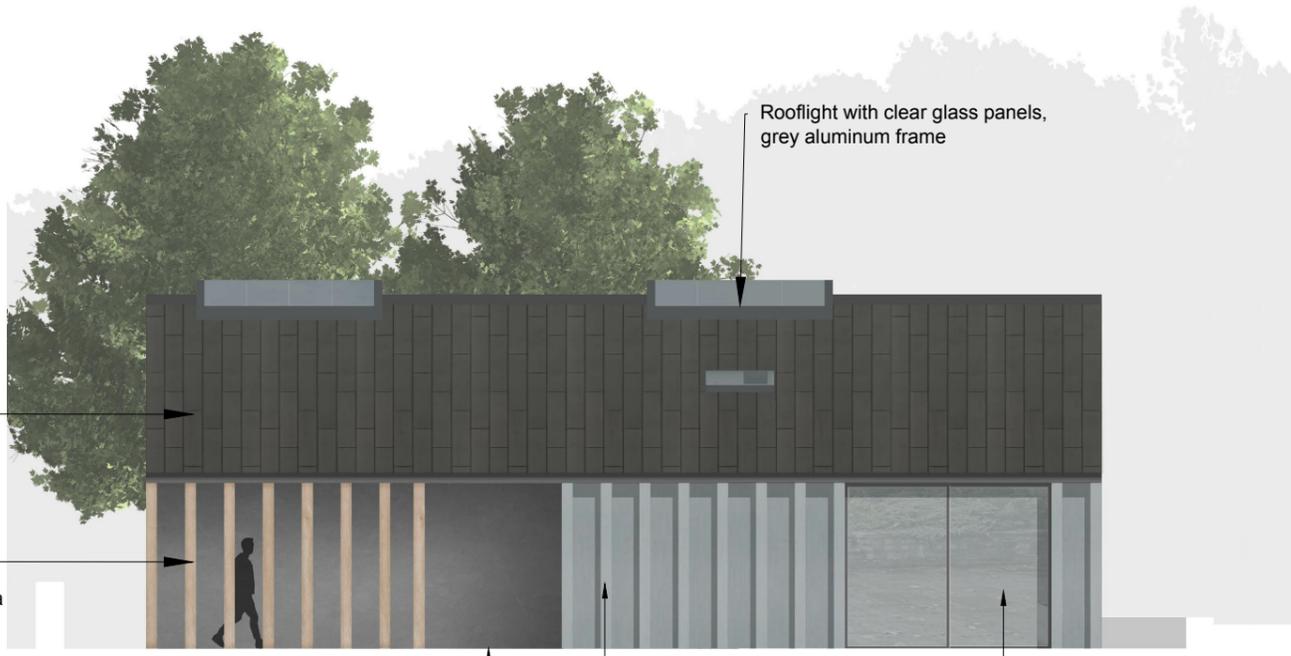
tel. 0131 445 2223
fax. 0131 445 7377

PLANNING

VM zinc roof cladding - Anthra zinc finish c/w standing seam.

grey aluclad windows with timber columns to form loggia

Rooflight with clear glass panels, grey aluminum frame

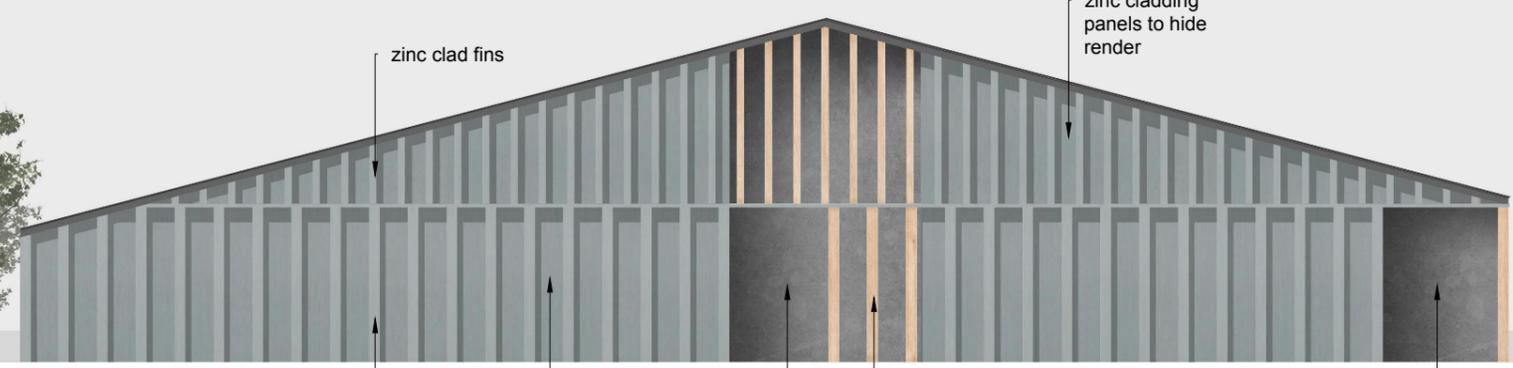


WEST ELEVATION

zinc clad fins

grey aluclad windows

new entrance doors - natural timber finish



NORTH ELEVATION

zinc clad fins

zinc cladding panels to hide render

zinc clad fins

zinc cladding panels to hide render

timber fins at voids

Chinese garden space with roof light over to provide private light well to bedroom - avoids overlooking to number 12

Loggie



Client: David Orr

Job: 10 Glenlockhart Bank

Title: Proposed Elevations Rendered

Scale: 1:100 @ A3

Date: 15.11.21

Job No: 669

Dwg No: P10

Rev:

graymacpherson architects LLP

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fax. 0131 445 7377

PLANNING



VM zinc roof cladding - Anthra zinc finish c/w standing seam.

Rooflight with clear glass panels, grey aluminum frame

EAST ELEVATION

zinc clad fins grey aluclad windows

fins at terrace - natural timber finish



zinc cladding panels to hide render

SOUTH ELEVATION

zinc clad fins

zinc cladding panels to hide render

timber fins at voids



Client: David Orr

Job: 10 Glenlockhart Bank

Title: Proposed Elevations Rendered

Scale: 1:100 @ A3

Date: 15.11.21

Job No: 669

Dwg No: P11

Rev:

gray macpherson architects LLP

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PLANNING

Gray Macpherson Architects.
Tigh-na-geat House
1 Damhead Farm
Lothianburn
Edinburgh
EH10 7DZ

Mrs Bringham
15 Greenhill Gardens
Edinburgh
EH10 4BN

Decision date: 14 June 2022

**TOWN AND COUNTRY PLANNING (SCOTLAND) ACTS
DEVELOPMENT MANAGEMENT PROCEDURE (SCOTLAND) REGULATIONS 2013**

Convert existing redundant swimming pool building into a separate private family dwelling house within the curtilage of an existing house. (As amended)
At 10 Glenlockhart Bank Edinburgh EH14 1BL

Application No: 21/06240/FUL

DECISION NOTICE

With reference to your application for Planning Permission registered on 25 November 2021, this has been decided by **Local Delegated Decision**. The Council in exercise of its powers under the Town and Country Planning (Scotland) Acts and regulations, now determines the application as **Refused** in accordance with the particulars given in the application.

Any condition(s) attached to this consent, with reasons for imposing them, or reasons for refusal, are shown below;

Conditions:-

Reasons:-

1. The proposal is contrary to the relevant adopted Local Development Plan Policies in respect of Design Quality and Context, as the development shall negatively impact the character and appearance of the area around it.
2. The proposal is contrary to the relevant adopted Local Development Plan Policies in respect of Development Design- Impact on Setting, as the street has a settled townscape character, and the proposal does not have similar characteristics to the surrounding buildings and urban grain.

3. The proposal is contrary to the relevant adopted Local Development Plan Policies in respect of Housing Development as the proposal is not compatible with other policies in the plan.

4. The proposal is contrary to the relevant adopted Local Development Plan Policies in respect of Housing Density, as the proposal could not respect the established density and layout of the area.

Please see the guidance notes on our [decision page](#) for further information, including how to appeal or review your decision.

Drawings 01a-02a,03-11, represent the determined scheme. Full details of the application can be found on the [Planning and Building Standards Online Services](#)

The reason why the Council made this decision is as follows:

The proposal does not comply with adopted Edinburgh Local Development Plan policy Hou 1, Hou 4, Des 1 or Des 4. The proposal therefore does not comply with Paragraph 29 of SPP. There are no material considerations that outweigh this conclusion.

This determination does not carry with it any necessary consent or approval for the proposed development under other statutory enactments.

Should you have a specific enquiry regarding this decision please contact Adam Gloser directly at adam.gloser@edinburgh.gov.uk.



Chief Planning Officer
PLACE
The City of Edinburgh Council

NOTES

1. If the applicant is aggrieved by the decision to refuse permission for or approval required by a condition in respect of the proposed development, or to grant permission or approval subject to conditions, the applicant may require the planning authority to review the case under section 43A of the Town and Country Planning (Scotland) Act 1997 within three months beginning with the date of this notice. The Notice of Review can be made online at www.eplanning.scot or forms can be downloaded from that website. Paper forms should be addressed to the City of Edinburgh Planning Local Review Body, G.2, Waverley Court, 4 East Market Street, Edinburgh, EH8 8BG. For enquiries about the Local Review Body, please email localreviewbody@edinburgh.gov.uk.

2. If permission to develop land is refused or granted subject to conditions and the owner of the land claims that the land has become incapable of reasonably beneficial use in its existing state and cannot be rendered capable of reasonably beneficial use by carrying out of any development which has been or would be permitted, the owner of the land may serve on the planning authority a purchase notice requiring the purchase of the owner of the land's interest in the land accordance with Part 5 of the Town and Country Planning (Scotland) Act 1997.

Report of Handling

**Application for Planning Permission
10 Glenlockhart Bank, Edinburgh, EH14 1BL**

Proposal: Convert existing redundant swimming pool building into a separate private family dwelling house within the curtilage of an existing house. (As amended)

**Item – Local Delegated Decision
Application Number – 21/06240/FUL
Ward – B09 - Fountainbridge/Craiglockhart**

Recommendation

It is recommended that this application be **Refused** subject to the details below.

Summary

The proposal does not comply with adopted Edinburgh Local Development Plan policy Hou 1, Hou 4, Des 1 or Des 4. The proposal therefore does not comply with Paragraph 29 of SPP. There are no material considerations that outweigh this conclusion.

SECTION A – Application Background

Site Description

The application site relates to the swimming pool building to the rear of No. 10 Glenlockhart Bank. The application site is comprised of a detached property within a large garden area. The site is located at the end of a cul de sac on Glenlockhart Bank and the area is typified by residential dwellings located within private garden grounds.

Description Of The Proposal

The application is for the subdivision of the application site to form two separate sites each containing a residential dwelling. The proposals seek to refurbish the rear swimming pool house to form a private residential dwelling and the formation of a private vehicle access.

Amendment:

- Vehicle parking reduced to one car
- Hardstanding to be porous in nature

Relevant Site History

19/02444/PPP
10 Glenlockhart Bank
Edinburgh
EH14 1BL
Erection of a new private dwelling house.
Refused
27 September 2019

Other Relevant Site History

Consultation Engagement

Roads Authority

Publicity and Public Engagement

Date of Neighbour Notification: 9 December 2021

Date of Advertisement: 10 December 2021

Date of Site Notice: 10 December 2021

Number of Contributors: 7

Section B - Assessment

Determining Issues

This report will consider the proposed development under Sections 25 and 37 of the Town and Country Planning (Scotland) Act 1997 (the 1997 Act):

Do the proposals comply with the development plan?

If the proposals do comply with the development plan, are there any compelling material considerations for not approving them?

If the proposals do not comply with the development plan, are there any compelling material considerations for approving them?

In the assessment of material considerations this report will consider:

- the Scottish Planning Policy presumption in favour of sustainable development, which is a significant material consideration due to the development plan being over 5 years old;
- equalities and human rights;
- public representations; and
- any other identified material considerations.

Assessment

To address these determining issues, it needs to be considered whether:

a) The proposals comply with the development plan?

The Development Plan comprises the Strategic and Local Development Plans. The relevant Edinburgh Local Development Plan 2016 (LDP) policies to be considered are:

- LDP Policies Hou 1, Hou 4 and Hou 5
- LDP Policies Des 1, Des 4, Des 5 and Des 12
- LDP Policies Tra 2 and Tra 3
- LDP Policies Env 21

The non-statutory Householder Guidance is a material consideration that is relevant when considering policies Hou 5, Des 5 and Des 12.

Principle

The application site is defined as being part of the urban area in the adopted LDP. The principle of housing development at the site is therefore acceptable as long as the proposals are compatible with other policies in the plan. Compliance with other policies in the plan are addressed in further detail below.

The proposed one dwelling house will not make a substantial contribution to any housing land supply and little weight can be placed on this consideration.

As the proposal does not comply with other policies contained within the LDP, the proposal does not comply with LDP policy Hou 1.

Scale Form and Design

The Edinburgh Design Guidance states that where back-land development would disrupt the spatial character of an area, it must be avoided.

The area surrounding the site is primarily residential in nature, characterised by large, detached dwellings. The houses have private front and rear gardens which can be quite substantial. The nearby dwellings are characterised by their low-density layout and a good degree of separation. The application site is located directly behind the existing property, set within the garden grounds of no. 10. While it is acknowledged that the site is comprised of a large, detached swimming pool building, this structure is ancillary to the main use of the dwelling house and is part of the larger garden grounds.

While the design and positioning of the property has ensured that the dwelling would not immediately impact on neighbouring privacy and outlook, the established position of the site and its limited size compared to other plots on the street, a dwelling house could not be constructed on this site that respects the established built form of the street in terms of density and layout.

The proposed dwelling would be back-land development which would have a detrimental impact on the spatial character and appearance of the surrounding area.

The proposal is contrary to LDP policies Des 1, Des 4, Hou 4 and the Edinburgh Design Guidance.

Amenity

The proposal has been designed to limit any outlook from the dwelling by virtue of window positioning and the use of natural screening around the perimeter of the site. Windows on the north elevation have been positioned to face the private 'Chinese garden', thereby limiting the potential outlook to the north. The windows on the south elevation shall face existing vegetation ensuring there is limited outlook to the south. The design and positioning of the proposals shall have no material impact on neighbour's privacy.

The proposal will not have any unreasonable impact on neighbouring amenity therefore complies with LDP policies Des 5 and Des 12.

Future occupiers

The Edinburgh Design Guidance (EDG) states that three-bedroom dwellings should have a minimal internal floor area of 91 m².

The proposed dwelling exceeds the minimum space standards.

All habitable rooms will achieve acceptable levels of outlook and daylight by virtue of the size and positioning of windows facing outwards or into private courtyards.

Sufficient private open space is proposed which will include outdoor seating and recreational garden grounds. The use of natural screening shall promote the biodiversity of the area and shall provide an appropriate level of separation between neighbouring gardens.

In addition, two courtyards shall provide some amenity space for future occupiers.

The proposal will result in the creation of a satisfactory residential environment and complies with LDP policies Hou 5, Des 5 and Des 12.

Transport

Properties in this area should have maximum parking provision of 1 space per dwelling. The application, as amended, complies with the Council's standards.

The Roads Authority has been consulted on this scheme and offers no objection to the proposals.

There is adequate space within the internal layout of the dwelling to accommodate the required cycle provision.

A departure from the cycle standards and LDP policy Tra 3 is appropriate as the proposal can accommodate internal cycle provision within the footprint of the building.

The proposal is in accordance with LDP policy Tra 2 and Tra 3.

Flooding

The Scottish Environmental Protection Agency (SEPA) flood maps show that there is no risk of surface water flooding within the radius of the site.

The application complies with LDP policy Env 21.

Conclusion in relation to the Development Plan

Overall, the proposals comply with the Development Plan.

b) There are any other material considerations which must be addressed?

The following material planning considerations have been identified:

SPP - Sustainable development

Scottish Planning Policy (SPP) is a significant material consideration due to the LDP being over 5 years old. Paragraph 28 of SPP gives a presumption in favour of development which contributes to sustainable development. Paragraph 29 outlines the thirteen principles which should guide the assessment of sustainable development.

The proposal will be overdevelopment of the site.

The proposal therefore does not comply with Paragraph 29 of SPP.

Emerging policy context

The Draft National Planning Framework 4 is being consulted on at present and has not been adopted. As such, little weight can be attached to it as a material consideration in the determination of this application.

While City Plan 2030 represents the settled will of the Council, it has not yet been submitted to Scottish Ministers for examination. As such, little weight can be attached to it as a material consideration in the determination of this application.

Equalities and human rights

Due regard has been given to section 149 of the Equalities Act 2010. No impacts have been identified.

Consideration has been given to human rights. No impacts have been identified through the assessment and no comments have been received in relation to human rights.

Public representations

The application has received nine letters of representation objecting to the scheme. It is noted that one letter has been received three times as a duplicate. The number of representations received is therefore six.

A summary of the representations is provided below:

material considerations

Proposal represents overdevelopment; Addressed in section (a) - through principle and amenity

Negative design; Addressed in section (a) - Scale, form, and design

Impact on Amenity of neighbours; Addressed in section (a) - Amenity

Impact on parking and Traffic; Addressed in section (a) - Transport

Impact on flooding; Addressed in section (a) - Flooding

non-material considerations

- Maintenance of private access
- Land not in sole ownership of applicant
- Notification of proposals sent twice

Overall Conclusion

The proposal does not comply with adopted Edinburgh Local Development Plan policy Hou 1, Hou 4, Des 1 or Des 4. The proposal therefore does not comply with Paragraph 29 of SPP. There are no material considerations that outweigh this conclusion.

Section C - Conditions/Reasons/Informatives

The recommendation is subject to the following;

Reasons

1. The proposal is contrary to the relevant adopted Local Development Plan Policies in respect of Design Quality and Context, as the development shall negatively impact the character and appearance of the area around it.
2. The proposal is contrary to the relevant adopted Local Development Plan Policies in respect of Development Design- Impact on Setting, as the street has a settled townscape character, and the proposal does not have similar characteristics to the surrounding buildings and urban grain.
3. The proposal is contrary to the relevant adopted Local Development Plan Policies in respect of Housing Development as the proposal is not compatible with other policies in the plan.
4. The proposal is contrary to the relevant adopted Local Development Plan Policies in respect of Housing Density, as the proposal could not respect the established density and layout of the area.

Background Reading/External References

To view details of the application go to the [Planning Portal](#)

Further Information - [Local Development Plan](#)

Date Registered: 25 November 2021

Drawing Numbers/Scheme

01a-02a,03-11

Scheme 2

David Givan
Chief Planning Officer
PLACE
The City of Edinburgh Council

Contact: Adam Gloser, Planning Officer
E-mail: adam.gloser@edinburgh.gov.uk

Appendix 1

Consultations

NAME: Roads Authority

COMMENT: No objections subject to appropriate conditions and informatives.

DATE: 2 December 2021

The full consultation response can be viewed on the Planning & Building Standards Portal.

10 Glenlockhart Bank, Edinburgh.
Design Statement for Planning Application - November 2021



SOUTH ELEVATIONAL TREATMENT OF OVERCLAD RENDERED WALLS TO PORTAL FRAME

**CONVERSION OF SWIMMING POOL TO FORM
SEPARATE MODERN FAMILY HOME**



Figure 1 - Site location plan

Introduction

The proposal is to convert an existing building into a private residence. The site is located within the curtilage of a private house at 10 Glenlockhart Bank Edinburgh. The existing structure is a substantial building housing a swimming pool. The building was constructed in the 1960's and is a single storey glulam portal framed structure with rendered cavity blockwork walls. Its orientation is East West. The entrance is to the West via a white timber painted conservatory which was added circa 2007. The changing facilities are located along the East elevation and the pool is in the middle. The roof is clad in a mixture of Eternit type tiles on the West slope and felt on the east slope.

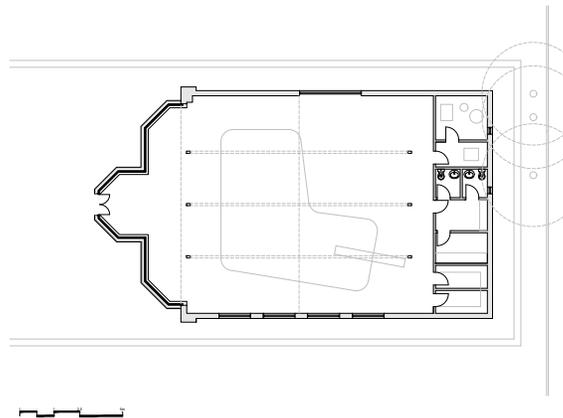


Figure 2 - Floor plan of existing pool house.



Figure 3 - internal view



Figure 4 – South gable elevation.



Figure 5 – North gable elevation showing existing picture window.

An application for planning consent to demolish it and replace it with a new house was made in 2019 reference 19/02444/PPP. This was refused and the refusal was upheld at appeal.

The building has not been used for about several years and is now beginning to degrade.



Figure 6 – Internal view of swimming pool looking East.

Description of the site

The building is positioned in the back garden of the main house. The site area around it extending to 0.0920 hectares (920m²).

The site is located within the Craiglockhart area. This is generally a residential area characterized by a mix of house types around a varied topography. There are many mature trees in the surrounding area. There is a golf course immediately to the East of the site. This is not a conservation area.

The existing building to be converted is discreetly tucked in behind the main house and can only really be seen from number 12 and the existing footpath between the eastern boundary and the golf course and Craiglockhart Wood.

The Proposals

The proposal will remove the existing timber painted conservatory along the Western face of the building. This will be replaced with a continuation of the portal frame to form a new entrance. The living accommodation is generally open plan with a spine corridor running east west to give long view through the building and provide efficient circulation to living and bedroom accommodation. The main living space which is open plan is located on the south and west elevations taking advantage of the southern aspect and the west facing terrace area. All the accommodation is on the one floor, so it provides high quality accessible living accommodation. The master bedroom is in the southeast corner of the building. This is organised around a private courtyard. The additional bedrooms are located around a private garden courtyard. This ensures there is no overlooking to the neighbouring property. There is currently a large picture window overlooking 12 Glenlockhart Bank. This will be removed improving the privacy to number 12.



Figure 7 – view of 2007 conservatory added to front of portal frame.

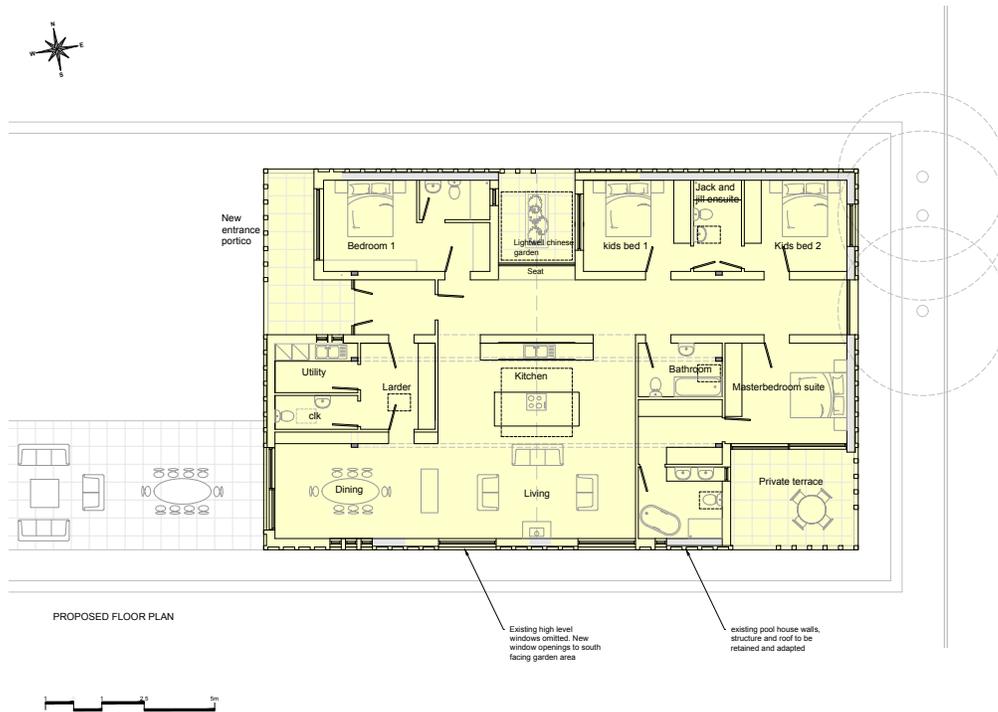


Figure 8 - Proposed floor plan.

Elevational Treatment.

The rendered walls will be highly insulated and clad in mixture of zinc panels and zinc clad vertical fins. The roof will also be highly insulated and again clad in zinc.



Figure 9 - New entrance elevation.

Windows will be triple glazed aluminium clad timber windows. As well as zinc clad fins the new entrance will have timber fins to mark and soften the entrance.



Figure 10 - Rear elevation facing gold coursed

The terraced area to the front provides a large open garden space. This will be screened from the back of the existing main house with pleached hedging.

Cars will park in the driveway to the Northwest of the terrace. There will be 2 car parking spaces provided. There is a new garden path that will lead up to the terrace and up to the new front door.

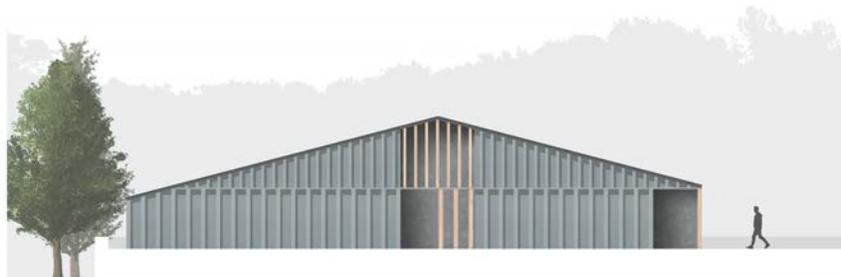


Figure 11 - Elevation to North facing number 12 Glenlockhart Bank.

Sustainability.

An existing building will have a lower carbon footprint than a totally new building. In this case, all the ingredients are there to allow the existing building fabric to be adapted to create a new family home. This will limit the need to source new materials. It will also limit the pressure on landfill to dispose of the redundant building components that cannot be recycled.

Heating

The existing building envelope is poorly insulated. The idea is to re line the external envelope to a very high standard. A new floor will also be built on top of the existing concrete slab and span across the pool opening. This again will be insulated and gives the opportunity to install an underfloor heating system.

As the building will be highly insulated the intention is to use renewable energy to heat the building. The intention is to use an air source heat pump. This is most efficient when used with underfloor heating.

Capable of Conversion

A structural engineer has obtained information from the City of Edinburgh Council Archives detailing the construction of the existing building. The report concludes that the structure is capable of conversion and can be satisfactorily transformed into a first class, sustainable modern family home.

A copy of the report is attached as part of the application.

Existing Trees

There are many trees surrounding the site with Craiglockhart Wood to the East. Apart from the removal of some bushes by the path leading to the terrace from the car parking spaces, there are no trees affected by the proposal. This is possible because the existing building is being re purposed and new excavations are limited to the main entrance area only.

Proposed Landscape

The foliage screening to number 12 will be retained maintaining the privacy between the properties.

A beech hedge is proposed to define the boundary between the new house and the existing house.

The existing lawn areas to the south are to be retained.

The parking area will have porous mono bloc to match the existing monobloc surface of the access road. A sloping path will give access to the existing terrace which lead to the front door. The slabs to the terrace would be cleaned and retained as the main garden space to the house.

Conclusion

The massing and design of the building is extremely polite within its context. As the building is existing, it cannot be argued that its conversion will adversely affect the character of the area.

The privacy of the neighbouring properties is unaffected by the conversion of the building into a modern family home.

The development is a sustainable solution for a new house. The structure and enclosing envelope can be retained and improved. This must reduce the carbon footprint of the new house.

Avoiding demolition means that only limited materials would have to be removed from the site to landfill or for recycling.

Reuse, and repurposing of materials means that this project does not exert pressure on the ever-decreasing resources of our planet the way a totally new building might.

The structural engineer has confirmed that the building is structurally sound and capable of conversion.

A restricted palette of high quality and durable external materials have been chosen to ensure the building sits quietly in its environment maintaining the character of the area.

The design concept seeks to promote a contemporary family house of appropriate scale, design and construction fit for 22nd century living.