

KEY

[This drawing must be reproduced in colour]

-  T1/G1/W1 Retained trees
-  H1 Retained hedgerow
-  Root Protection Area (RPA)
-  Site Boundary

-  Tree Protective Fencing (c. 111m)
(Must be installed prior to commencement of works)
-  Ground protection (c. 283m²)
(Must be installed prior to commencement of works)
-  Special Mitigation
(Requires Arboricultural Method Statement)



TD TREE & LAND SERVICES LTD

Site
4, Church Hill

Title
Drawing 3: Tree Protection

Drawing No. 221205003	Scale 4:1000 @ A3	Date 05/12/2022
Drawn PMR	Checked PCL	Approved PCR

**General conditions**

The Tree Protection Plan (Appendix 3) will be followed, any alterations will need the approval of the appointed Arboriculturalist and the LPA.

Under no circumstances shall construction personnel undertake any tree pruning operations.

Great care must be exercised when working close to retained trees. Plant and machinery with booms should be controlled by a banksman to maintain adequate clearance.

All removals and site clearance should be undertaken outside of the nesting season to reduce the ecological impact.

All tree work operations must be in accordance with BS 3998: 2010 Tree Work Recommendations.

This work is to be conducted by a suitably qualified Tree Surgeon (ideally chosen from the Arboricultural Association's Approved Contractors list).

The protective fencing will be erected before any materials or machinery are brought onto site and before any development commences.

Once erected these barriers will be regarded as permanent and will not be removed or altered without prior agreement of the appointed arboriculturalist and written approval of the LPA.

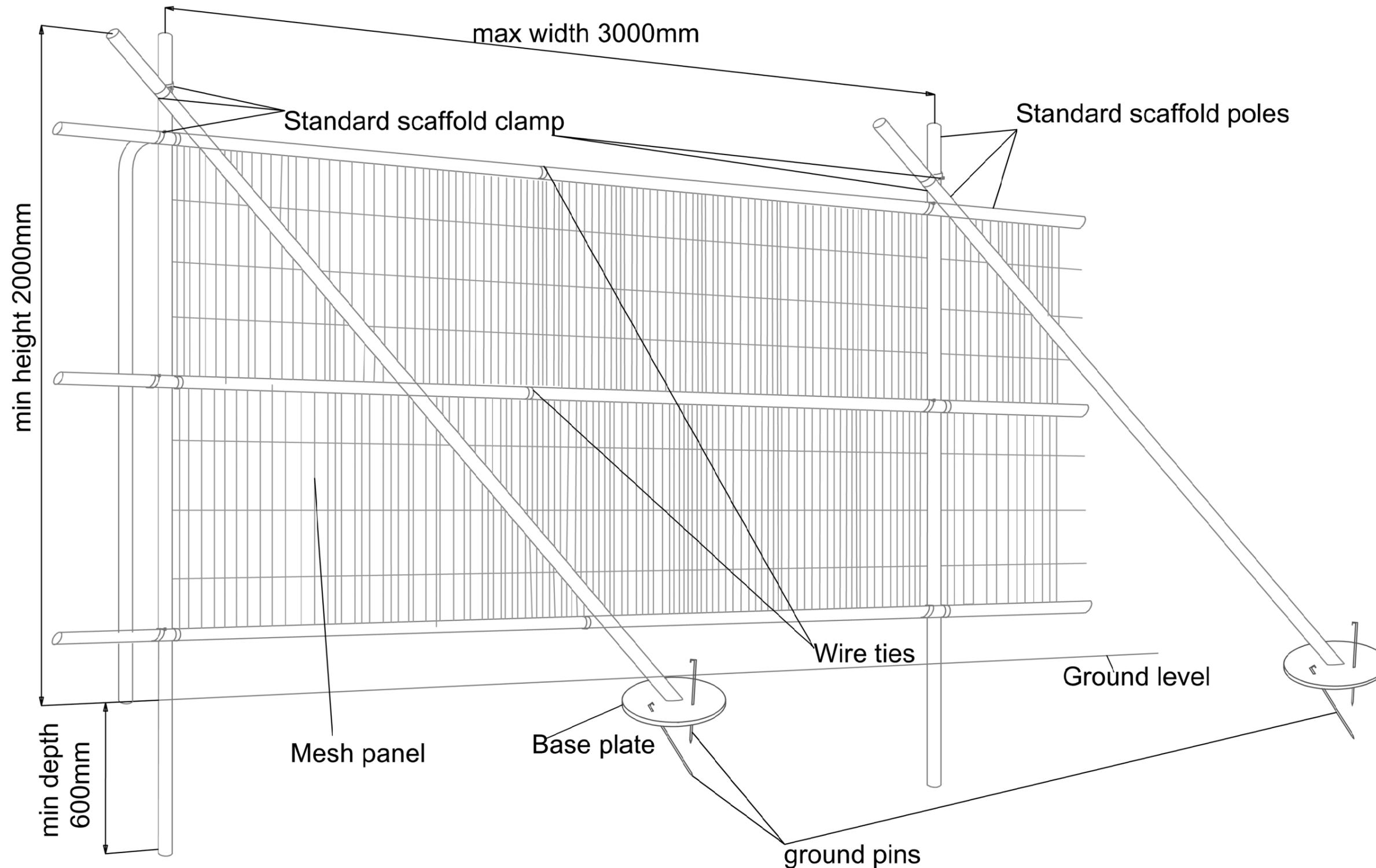
Tree protective fencing will be fit for the purpose of excluding construction activity. Regular checks must be made of the fencing to ensure its stability and structure. Scheduled site visits of the appointed arboriculturalist or the LPA will record these checks.

Once the construction exclusion zone has been protected by the barriers, construction can commence. Signs should be fixed to the fencing panels with the words: "Construction Exclusion Zone – No Access" or similar.

The tree protective fencing consists of a vertical and horizontal, reinforced scaffold framework and heavy gauge 2 m tall, galvanized tube and welded mesh infill panels.

Installation

- Secure the framework well with standard scaffold clamps.
- Drive the verticals securely into the ground to a minimum depth of 600mm. Proceed with care when locating the vertical poles to avoid underground services and contact with structural roots. The interval between the vertical tubes will be no wider than 3 m.
- Support the framework with stabilizer struts on the inside. These will be attached to a base plate secured with ground pins.
- Fix the welded mesh panels securely onto the framework, using wire ties and standard scaffolding clamps, as suitable.





No access
for unauthorised
persons

ATTENTION

TREE PROTECTION AREA

KEEP OUT



No access for
forklifts or other
industrial vehicles



THIS IS A CONSTRUCTION EXCLUSIVE
ZONE

NO ACCESS PERMITTED

NO STORAGE WITHIN THIS AREA

DO NOT MOVE OR DAMAGE THIS
PROTECTIVE FENCING

FOR ACCESS TO THE TREE PROTECTION
AREA, ASK SITE MANAGER TO CONTACT A
QUALIFIED ARBORICULTURAL
CONSULTANT

Title
Arboricultural method statement for removal of hard standing



This AMS outlines the parameters to the removal of hard standing within tree root protection areas (RPA) will be undertaken.

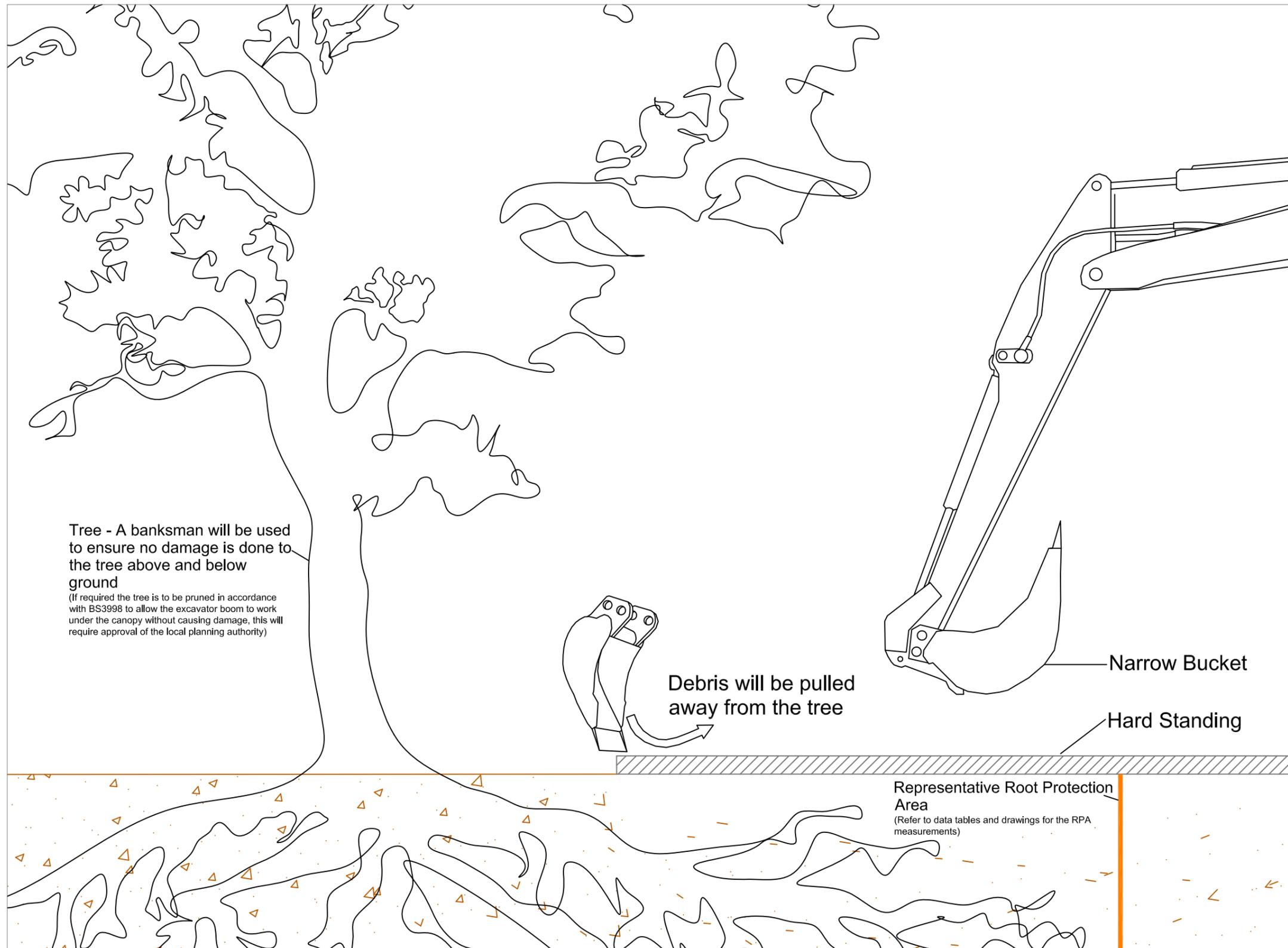
General Terms

This document will be produced in colour in a A3 format.

The site manager will read and understand this document. It will be the responsibility of the site manager to ensure compliance.

A copy of this document will be made available on site.

If major roots (>25mm diameter) are uncovered, works will cease, the roots will be loosely covered with damp hessian, and arboricultural advice will be sought.



Removal of Existing Surfaces

1. The site manager will arrange supervision of the works by the Arboricultural Consultant
2. Temporary fencing will be removed allowing access. This will only be at the time when the works are being carried out.
3. No unauthorised personnel or machinery will have access.
4. Any plant being used will be positioned outside of the root protection areas.
5. Any cutting disc used to score the hard surfacing will be limited to 50mm cutting depth.
6. Using an excavator with a narrow bucket, remove the hard surfaces and kerbs closest to the trees, working away from the tree itself.

Material Type

Concrete - Will be removed by using a cutting disc to score the surface (up to 50mm depth) and using an excavator with a flat un-toothed bucket to lift away from the surface. Debris will be manually carried outside of the RPA.

Flag Stones - Will be removed using an excavator with a flat un-toothed bucket, lifting away from the surface and debris manually carried outside of the RPA.

Hard Core - Will be removed by scraping with an excavator, with a flat un-toothed bucket, in 50mm deep layers, or less, to a pile outside of the RPA.

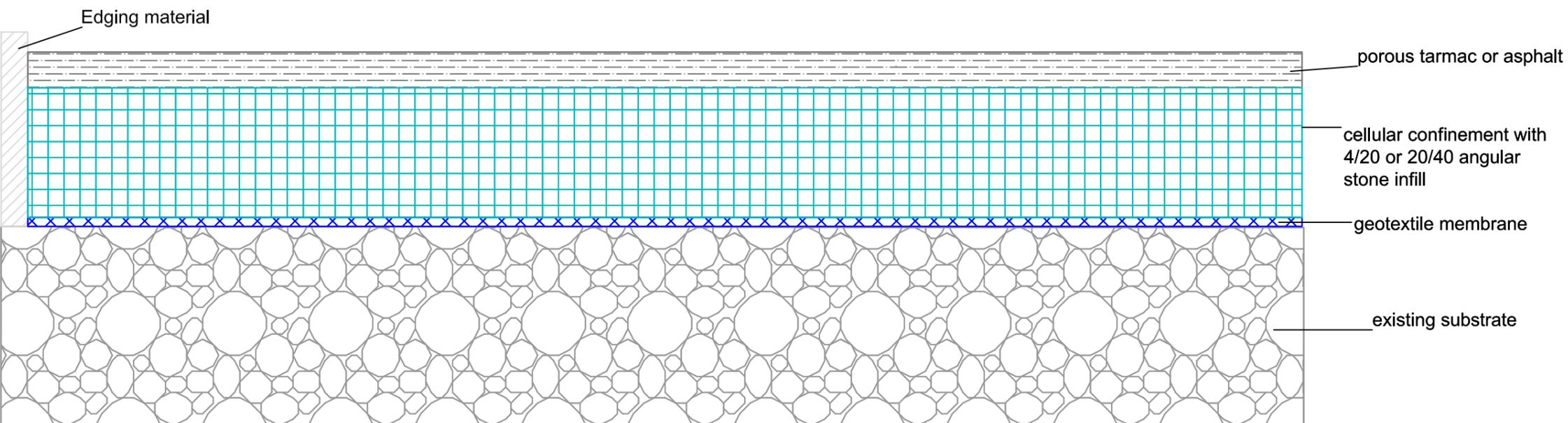
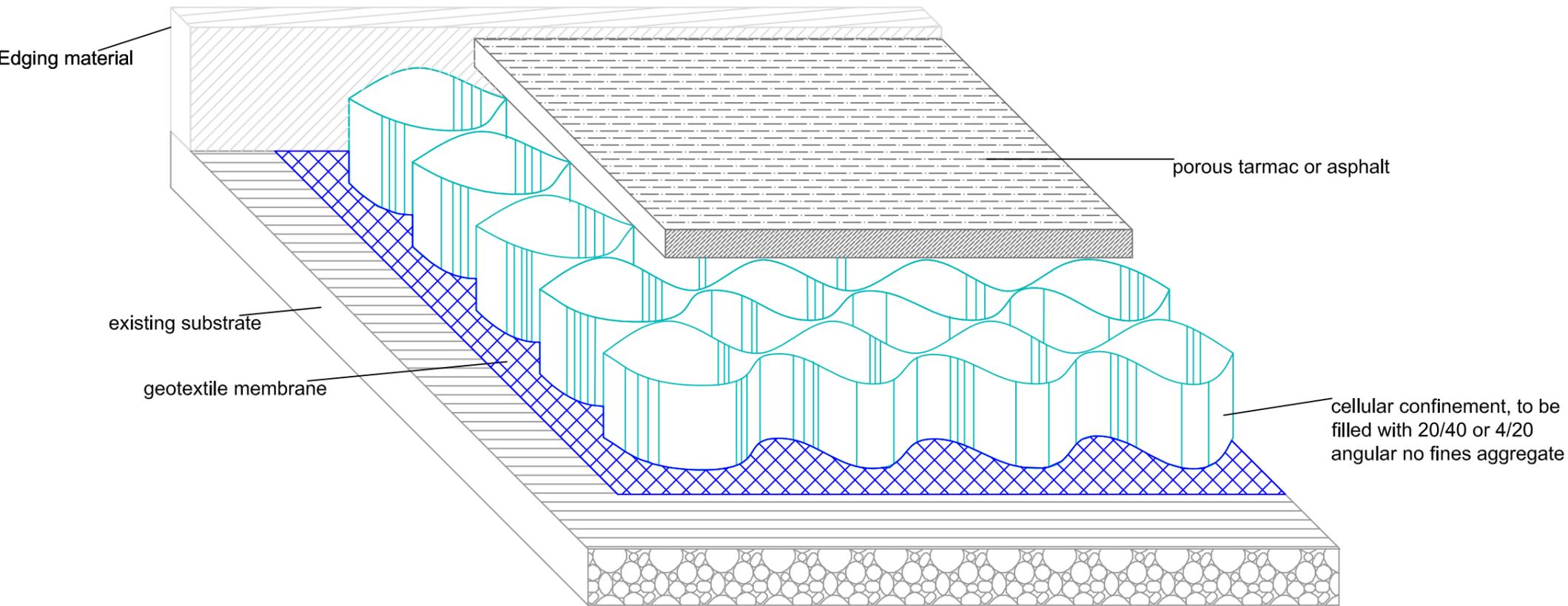
Tarmac - Will be removed by scraping with an excavator, with a flat un-toothed bucket, in 50mm deep layers, or less, to a pile outside of the RPA.

Title
Arboricultural method statement for cellular confinement system



General Terms

The ground protection as set out in this method statement is suitable for cars, vans, 4-wheel drive etc. up to approx. 7t. No HGV shall drive onto these ground protections.
 Under no circumstances shall construction personnel undertake any tree pruning operations.
 Plant and machinery with booms should be controlled by a banksman to maintain adequate clearance to trees.
 No digging works of any kind within the RPA will take place without supervision of the LPA and/or the appointed Arboriculturist.
 It is recommended that surrounding trees are reinspected annually by a suitably qualified arboriculturist. These re-inspections may take place up to 8 years after construction works have finished.



Cross Section

Installation of ground protection

- Carefully remove all debris and areas of hard surfacing and reduce site levels by max. 5cm to meet final levels.
- Any hollows within the installation zone will be filled with no fines 4/40 clean angular stone.
- Place geotextile membrane (300g/m²) over the installation zones. If several sections are needed, overlap them by a minimum of 300mm.
- Secure the membrane with pins (e.g., steel staking pins) every 500mm along the edging. These pins are ideally 3 times the height of the cellular confinement)
- Place the cellular confinement (100mm depth for cars and vans) on top of the membrane, securing it with the same pins. Where necessary, the cellular confinement can be cut or clipped together.
- Fill the cells of the confinement system with clean, no fines angular stone 20/40 or 4/20. If excavators are used to fill in the aggregate, these will be positioned outside the root protection area. Once the first cells have been filled, the excavator may drive on to these to continue introducing the infill. Drop height is limited to below 1000mm. Ensure all cells are filled even across the whole width before allowing vehicles onto the surface. To allow the stones to settle in the cells, overfill by approximately 25mm.
- Apply light vibrant compaction to help the aggregate settle in the cells.
- Place suitable edging (e.g., kerbstones on top of cellular confinement system may in this case be filled with concrete)
- Place suitable porous asphalt wearing course to engineer's specification on top.

Arboricultural Method Statement for ground protection



General Terms

The ground protection as set out in this method statement is suitable for cars, vans, 4-wheel drive etc. up to approx. 7t. No HGV shall drive onto this ground protection.

Under no circumstances shall construction personnel undertake any tree pruning operations.

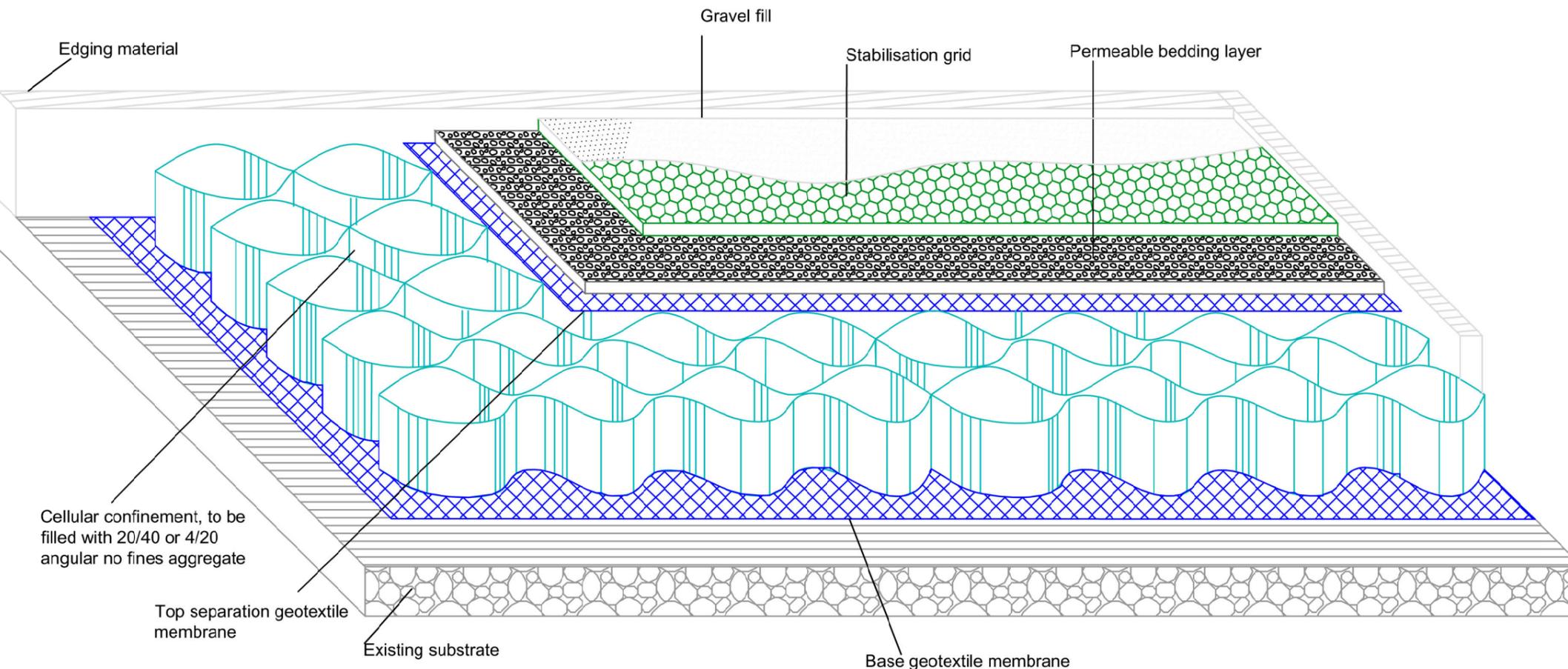
Plant and machinery with booms should be controlled by a banksman to maintain adequate clearance to trees.

No digging works of any kind within the RPA will take place without supervision of the LPA and/or the appointed Arboriculturist.

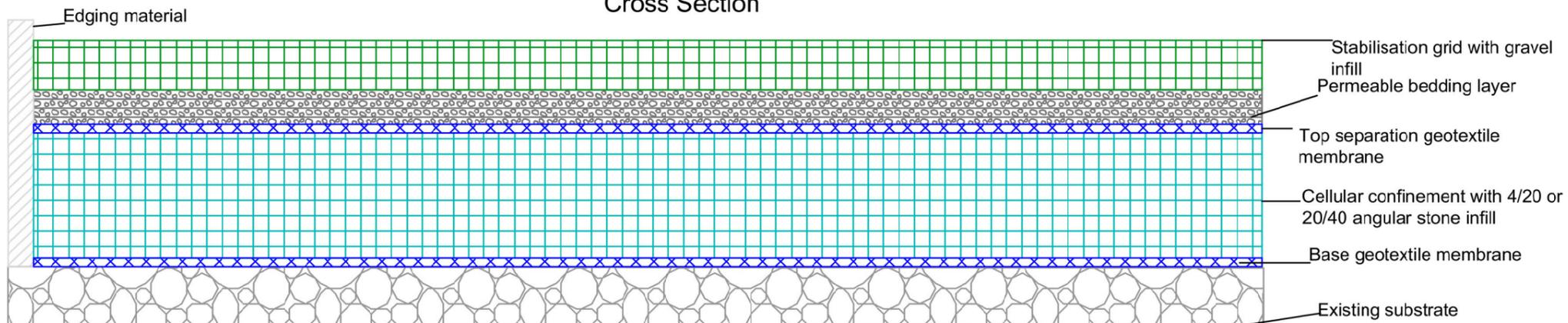
It is recommended that surrounding trees are reinspected annually by a suitably qualified arboriculturist. These re-inspections may take place up to 8 years after construction works have finished.

Installation of ground protection

- Carefully remove the surface vegetation.
- Any hollows within the installation zone will be filled with no fines 4/40 clean angular stone.
- Place geotextile membrane (300g/m²) over the installation zones. If several sections are needed, overlap them by a minimum of 300mm.
- Secure the membrane with pins (e.g., steel staking pins) every 500mm along the edging. These pins are ideally 3 times the height of the cellular confinement)
- Place the cellular confinement (100mm depth for cars and vans) on top of the membrane, securing it with the same pins. Where necessary, the cellular confinement can be cut or clipped together.
- Fill the cells of the confinement system with clean, no fines angular stone 20/40 or 4/20. If excavators are used to fill in the aggregate, these will be positioned outside the root protection area. Once the first cells have been filled, the excavator may drive on to these to continue introducing the infill. Drop height is limited to below 1000mm. Ensure all cells are filled even across the whole width before allowing vehicles onto the surface. To allow the stones to settle in the cells, overfill by approximately 25mm.
- Apply light vibrant compaction to help the aggregate settle in the cells.
- Place suitable edging (e.g., kerbstones on top of cellular confinement edges: the edges of the confinement system may in this case be filled with concrete)
- Place a second membrane (100-300g/m²). If several sections are needed, overlap them by a minimum of 300mm.
- Place a 20mm high permeable bedding layer of 2-6mm agricultural grit. Slightly compact by foot, tramping lightly.
- Lay top stabilisation grid (e.g. Core Commercial pavers) and fill with 6-10mm of decorative stone.



Cross Section





TD TREE & LAND SERVICES LTD

Title

Arboricultural method statement for root barrier membrane

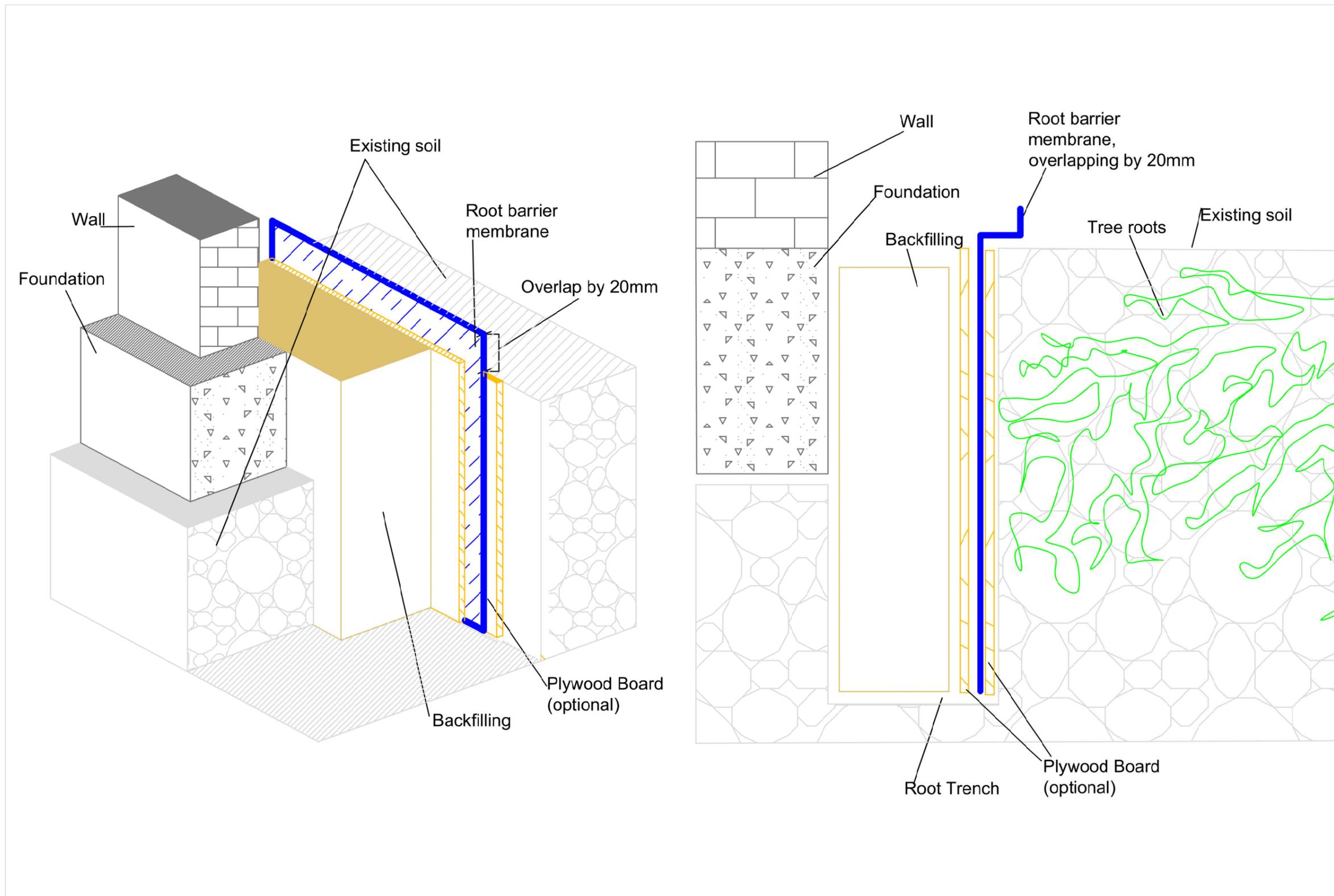
General Terms

Under no circumstances shall construction personnel undertake any tree pruning operations.

Plant and machinery with booms should be controlled by a banksman to maintain adequate clearance to trees.

No digging works of any kind within the RPA will take place without supervision of the LPA and/or the appointed Arboriculturist.

It is recommended that surrounding trees are reinspected annually by a suitably qualified arboriculturist. These re-inspections may take place up to 8 years after construction works have finished.



Installation

- The root trench will be excavated by hand.
- The anticipated depth lies within 60-90 cm, this will be assessed on site by the appointed arboriculturist.
- The width of the trench will be within 20-50cm, depending on the structural engineers' specifications to avoid subsidence.
- Exposed roots will immediately be wrapped in damp hessian. Any wrapping will be removed prior to backfilling, which should take place as soon as possible.
- Any small roots with a diameter <25mm damaged, will be pruned back using handsaw or by-pass secateurs.
- Any roots larger than 25mm will not be moved without consultation of the appointed Arboricultural Consultant.
- Once the area is dug, remove any sharp objects, stones, debris, flint e.g. prior to installing the membrane. If this is not practicable, plywood boards may be placed to secure the membrane from being damaged by the sharp objects in the soil.
- Place the root barrier membrane in the trench, making sure that it is overlapping ground level by 20mm or more.
- The root barrier membrane will be installed as taut as possible. Plywood boards may be used to stabilise the membrane when reaching depths greater than 90cm.
- The foundation suitable for the hub will be built to structural engineers' specifications.
- Material for backfilling the trench will be selected to Institute of Civil Engineers standards. Any sharp objects, sharp stones, sharp debris, capable of damaging the barrier, shall be re-moved beforehand.
- Ensure the root barrier stays in place while backfilling the trench.

*This drawing is not to scale. The gaps inbetween the different objects are only for easier display within the drawing. when installing the root trench, there will be no gaps inbetween the different items.

REVIEW REQUEST STATEMENT

22/05336/FUL - Change use of former nursing home to provide 6no. dwellings including parking, private amenity space, refuse storage and provision of bicycle storage

at

**Strathmore House
4 Church Hill
Edinburgh
EH10 4BQ**

Prepared by

**Derek Scott Planning
Planning and Development Consultants**



**21 Lansdowne Crescent
Edinburgh
EH12 5EH
Tel No: 0131 535 1103
E-Mail: enquiries@derekscottplanning.com**

On behalf of

Dr. H Reza (Strathedin Properties Ltd)

Executive Summary

22/05336/FUL - Change use of former nursing home to provide 6no. dwellings including parking, private amenity space, refuse storage and provision of bicycle storage at Strathmore House, 4 Church Hill, Edinburgh EH10 4BQ.

- The application site, which measures c.1183 metres in area is located at No. 4 Church Hill (southern side) in the Morningside Area of Edinburgh immediately to the west of Churchill Drive. The area surrounding the site is of mixed-use character with a predominance of residential and institutional uses in the immediate vicinity. Morningside Local Centre with its associated services, facilities and commercial offerings exists a short distance to the west. Areas to the east and north of the site are characterised by large predominantly detached residential properties set in generously proportioned garden grounds with significant tree cover. Areas to the south and east of the site offer a spatial pattern of higher density.
- The application property which has three storeys and is finished in a cream sandstone is a former nursing/care home (12 residents) which closed in 2021. It is Category ‘B’ Listed in the Statutory List (1993) and lies within the Merchiston and Greenhill Conservation Area.
- There is a modern sun lounge on the western side of the building at its lower level. This was granted planning permission and listed building consent in April 2002 under Application Reference Numbers 01/04509/FUL and 01/04509/LBC and is assumed to have been built at or around this time. There is a ramping system on the east side of the building which leads to a basement door. There is some parking on the site to the side and rear and a number of trees within its grounds. The building shares an access with an eight-unit flatted retirement complex to the immediate south (Chartwell House, 4B Church Hill) which is located within a more modern brick building.
- The application which had been submitted to the City of Edinburgh Council had sought planning permission for the demolition of the existing single storey sun lounge extension on the western elevation and the erection of a new flat roofed extension accommodating three floors to facilitate its change of use from a nursing/care home to 6 no. residential apartments. Other works proposed included the removal of the existing ramping system to the east of the building; the rationalisation of car parking arrangements and the provision of bin and bicycle storage arrangements. A single tree (Category B Lawson Cypress) will be removed to facilitate the extension proposals.
- The proposed extension, which is contemporary in its appearance is set back from the front elevation of the property and sits below existing eaves level on the host building. Materials

proposed in the extension include dressed buff sandstone block/cladding, zinc cladding, Ppc coated aluminium windows and spandrel panels (anthracite grey) and a painted metal balustrade (anthracite grey). Parking facilities in association with soft and hard landscaping are proposed within the grounds.

- The application was refused under delegated powers by the Appointed Planning Officer for a total of seven reasons. The first five reasons advance the view that that the scale, massing and height of the extension proposed fails to respect the character and setting of the Category ‘B’ Listed Building and the wider Merchiston and Greenhill Conservation Area within which the application site lies. These reasons for the refusal of the application are expanded upon in the Planning Officer’s Report of Handling where he claims that:
 - (i) The scale, size and height of the proposed extension would unbalance the symmetrical design of the front facing, principal elevation, and rear elevation by being overly dominant with a resultant detrimental impact on the special architectural interest of the listed building.
- We disagree with the reason(s) for the refusal of the application referred to and have cited the following reasons in support of our client’s position that planning permission should be granted for the proposals:
 - (i) The proposed extension has been skilfully designed and sited in due cognisance of Historic Environment Scotland’s Managing Change in the Historic Environment Design Guidance on ‘*Extensions.*’
 - (ii) The two-storey element of the extension has been sited to the rear of the building with its roof line sitting just below the eaves level of the existing building. It clearly plays a subordinate role to the existing building in accordance with the requirements of the Guidance referred to and does not dominate the original as a result of its scale, materials or location on the site. The degree of setback from the front principal elevation referred to and the very limited views of the site from Church Hill is such that the symmetry of the building will not be adversely affected.
 - (iii) The rear elevation of the existing building is not, as implied in the Planning Officer’s Report of Handling, symmetrical in nature. It is considered to be of lesser architectural quality and composition and not one of its defining qualities, that being the position reserved to the front principal elevation. Notwithstanding this, the extension proposed has also been set back from the rear elevation which in combination with its lesser height ensures that it plays a subordinate role in connection with it.
 - (iv) The contemporary design and choice of modern materials as a whole are considered to complement the existing building and are entirely legible,

distinguishable and reflective of the current period and works undertaken to and in other buildings in the general vicinity.

- (v) The external alterations proposed will result in a number of visual improvements to the existing building amongst which include the removal of the ramp arrangements on its eastern side and the removal of the modern sun lounge extension on the western side which detract from the character and appearance of the building. Internally the proposals will result in the removal of offensive ensuite facilities from a number of principle rooms thereby restoring the original character of those said rooms.
- The sixth reason for the refusal of the application claims that there would be a shortfall in private amenity space provision to serve the proposed residential use on site and a satisfactory residential environment would not be created.
- According to Policy Hou3 in the Council's Local Development Plan flatted developments should be provided with an area of private amenity space amounting to 10 sq. metres per flat/apartment proposed (total 60 sq. metres). The application proposals provide private amenity space of 458 sq. metres which will be assigned to Apartment Nos 1, 2 and 4 as these enjoy immediate adjacency to the amenity spaces referred to. Whilst apartments 3, 5 and 6 will not have access to amenity space on site such a scenario is not unusual with proposals in the City involving the conversion of existing buildings. Whilst these are our client's preferred arrangements, should that not be acceptable, there are two other options, as noted below, either of which could be secured through the imposition of a condition on any permission granted:
 - (i) Private amenity areas could be provided as proposed to Apartments 1 and 2 with Apartments 3-6 given the rights to the amenity area to the north (front) of the building; or
 - (ii) All of the amenity areas could be made communal and therefore accessible to each of the six apartments proposed.
- The seventh and final reason for the refusal of the application claims that the proposal will result in the substantive loss of mature trees on-site which are not required to be removed for aboricultural reasons. The Aboricultural Impact Assessment submitted in support of the application identifies the removal of a single tree (Category B – Lawson Cyprus) to facilitate the development of a boundary wall. That tree does not, in our opinion, make a significant contribution to the character or appearance of the Merchiston and Greenhill Conservation Area. The Planning Officer claims, on the back of comments in a consultation response from the Council's Aboriculturalist that the proposals will result in the loss of three trees in the vicinity of the proposed bin and cycle storage areas and a further group of trees existing along the western boundary of the site. Our client's Aboriculturalist has produced additional information (method statement outlining

mitigation measures) in support of this Review Request and in response to the reason of refusal referred to. As far as the three trees next to the bin/cycle storage areas are concerned the statement identifies methods of removing the existing hard standing and the installation of ground protection to ensure that tree roots will not be compacted such as would threaten their future survival. As far as the group of trees on the western boundary of the site are concerned the majority of the foundations relating to the planned extension sits on the existing foundation with only a very small area encroaching into the Root Protection area associated with one tree. This area will be hand-dug under arboricultural supervision to ensure the least invasive effect on the retained trees. We are confident that the trees in relation to which the Council's Arboricultural Officer expresses concern will not be lost as a result of the development proposed and will continue to make a positive contribution to the character and appearance of the Conservation Area following the development of the application proposals.

- We do not consider that there are any justifiable reasons for refusing our client's application and having regard to the above, it is respectfully requested that this Review Request be upheld and that planning permission be granted for the extension and alterations as proposed in order to facilitate the conversion of the property to residential use.

PLANNING PERMISSION REVIEW REQUEST

22/05336/FUL - Change use of former nursing home to provide 6no. dwellings including parking, private amenity space, refuse storage and provision of bicycle storage at Strathmore House, 4 Church Hill, Edinburgh EH10 4BQ

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LIST OF DOCUMENTS

22/05336/FUL - Change use of former nursing home to provide 6no. dwellings including parking, private amenity space, refuse storage and provision of bicycle storage at Strathmore House, 4 Church Hill, Edinburgh EH10 4BQ.

- Document 1 -** Review Request Forms
- Document 2 -** Planning Application Documents Relating to Register Reference Number 22/05336/FUL
- 2a – Planning Application Forms
 - 2b – A86/01 – Location Plan
 - 2c – A86/02A – Existing Site Plan
 - 2d – A86/03 – Existing Floor Plans
 - 2e – A86/05 – Existing Site Ground Floor Plan
 - 2f – A86/04 – Existing Elevations
 - 2g – A86/06 – Existing First Floor Plan
 - 2h – A86/07 – Existing Second Floor Plan
 - 2i – A86/08 – Existing Roof Plan
 - 2j – A86/21 – Site Boundary Distances
 - 2k – A86/20A – Proposed Site Plan
 - 2l – A86/10 – Proposed Ground Floor Plan
 - 2m – A86/11 – Proposed First Floor Plan
 - 2n – A86/12 – Proposed Second Floor Plan
 - 2o – A86/13 – Proposed Roof Plan
 - 2p – A86/15 – Proposed Elevations
 - 2q – A86/16 – Proposed Front Elevation
 - 2r – A86/17 – Proposed Rear Elevation
 - 2s – A86/19 – Proposed Site Elevation East
 - 2t – A86/18 – Proposed Side Elevation West
 - 2u – A86/22 – Proposed Rear Elevation CGI
 - 2v – A86/23 – Proposed Side Elevation CGI
 - 2w – A86/24 – Proposed Front Elevation CGI
 - 2x – A86/25 – Local Contextual Influences
 - 2y – Aboricultural Impact Assessment
- Document 3 –** Report of Handling – 22/05336/FUL
- Document 4 –** Decision Notice – 22/05336/FUL
- Document 5 –** Consultation Response from Historic Environment Scotland (HES) 22/05607/LBC dated 29th November 2022
- Document 6 –** Copy of Letter from Residents of Chartwell House, 4B Church Hill, Edinburgh dated 23rd November 2022

- Document 7 –** Historic Environment Scotland – Managing Change - Extensions
- Document 8 –** Historic Environment Scotland – Managing Change – Use and adaptation of Listed Buildings
- Document 9 –** Historic Environment Scotland – Managing Change – Interiors
- Document 10 –** Merchiston and Greenhill Conservation Area Character Appraisal
- Document 11 –** National Planning Framework 4 – Adopted 13th February 2023
- Document 12 –** City of Edinburgh Local Development Plan
- Document 13 –** City of Edinburgh Council – Non-statutory Guidelines on Listed Buildings and Conservation Areas
- Document 14 –** Decision Notice and Report of Handling relating to Listed Building Consent Application Reference Number 22/05607/LBC
- Document 15 –** Edinburgh Design Guidance – January 2020
- Document 16 –** Tree Protection Plan & Arboricultural Method Statement

LOCAL REVIEW REQUEST

22/05336/FUL - Change use of former nursing home to provide 6no. dwellings including parking, private amenity space, refuse storage and provision of bicycle storage at Strathmore House, 4 Church Hill, Edinburgh EH10 4BQ

1. Introduction

1.1 This statement has been prepared by Derek Scott Planning, Chartered Town Planning and Development Consultants (Edinburgh and Dunfermline) in association with CM Architects (Glasgow) on behalf of our client, Dr. H Reza of Strathedin Properties Limited. It is in support of a request to review the decision of the Appointed Planning Officer to refuse a planning application which had sought detailed planning permission for the alterations required (including erection of extension) to facilitate the change of use from a former nursing home to provide for 6 no. dwellings with associated parking, private amenity space, refuse storage and bicycle storage at Strathmore House, 4 Church Hill, Edinburgh EH10 4BQ. The application which was submitted to the Council on 21st October 2022 was refused by the Appointed Planning Officer under delegated powers on 18th January 2023. Copies of the Report of Handling and Decision Notice relating to the application are attached as **Documents 3 & 4**. A related application for listed building consent (Register Reference Number 22/05607/LBC) is the subject of a separate appeal to the Scottish Government (DPEA).



Proposed Extension - CGIs

2. Site Location and Description

- 2.1 The application site, which measures c.1183 metres in area is located at No. 4 Church Hill (southern side) in the Morningside Area of Edinburgh immediately to the west of Churchill Drive. The area surrounding the site is of mixed-use character with a predominance of residential and institutional uses. Morningside Local Centre with its associated services, facilities and commercial offerings exists a short distance to the west. Areas to the east and north of the site are characterised by large predominantly detached residential properties set in generously proportioned garden grounds with significant tree cover. Areas to the south and east of the site offer a spatial pattern of higher density.



Location Plan (Document 2b)

- 2.2 The application property which has three storeys and is finished in a cream sandstone is a former nursing/care home (12 residents) which closed in 2021. It is Category 'B' Listed in the Statutory List (1993) and lies within the Merchiston and Greenhill Conservation Area. The building is described as follows in the statutory list referred to:

'Circa 1860, addition 1886. 2-storey and basement 3-bay symmetrical rectangular-plan villa. Cream sandstone, squared and snecked stugged rubble with polished ashlar dressings to front, Base course above basement windows; band course above ground floor; cill band course at 1st floor; architraved windows with ornamental cast-iron window-guards at ground and 1st floor; panelled aprons to ground floor windows; eaves cornice; angle urns.

N (FRONT) ELEVATION: doorway at centre with consoled cornice accessed by flight of stairs with decorative cast-iron railings, panelled door and tiled vestibule; single window at 1st floor above. Outer bays with single window to basement, ground and 1st floor.

S (REAR) ELEVATION: 2-bay; broad, slightly advanced bay to left with rectangular projection and tripartite windows at basement and ground floor rising to canted window with half-piend roof at 1st floor. Single windows to right bay.

W ELEVATION: tall bipartite stair window with timber mullion and transom at 1st floor to right of centre, glazing of leaded panes; single windows to remaining bays; 2 shouldered and corniced wallhead stacks. E ELEVATION: bay to left blank; single windows to right and centre bays:

2 shouldered and corniced wallhead stacks.

Timber sash and case windows, 4-pane glazing. Black slate piend roof with metal flashings; 4 wallhead stacks (see above). Moulded eaves gutter. INTERIOR: not seen 1992.

Tall rubble wall with semi-circular coping to rear and sides, low wall with flat ashlar-coping to front, cast-iron pedestrian gates.

Originally 2-bay deep with a central staircase, an extra bay was added to the rear of the house in 1886 and the stair case moved to its present position. The villa is now a nursing home and extensive development has taken place in the grounds.'

- 2.3 There is a modern sun lounge on the western side of the building at its lower level. This was granted planning permission and listed building consent in April 2022 under Application Reference Numbers 01/04509/FUL and 01/04509/LBC respectively and is assumed to have been built at or around this time. There is a ramping system on the east side of the building which leads to a basement door. There is some parking on the site to the side and rear and a number of trees within its grounds. The building shares an access with an eight-unit flatted retirement complex to the immediate south (Chartwell House, 4B Church Hill) which is contained within a more modern brick building.



Site Photographs (24th January 2023)

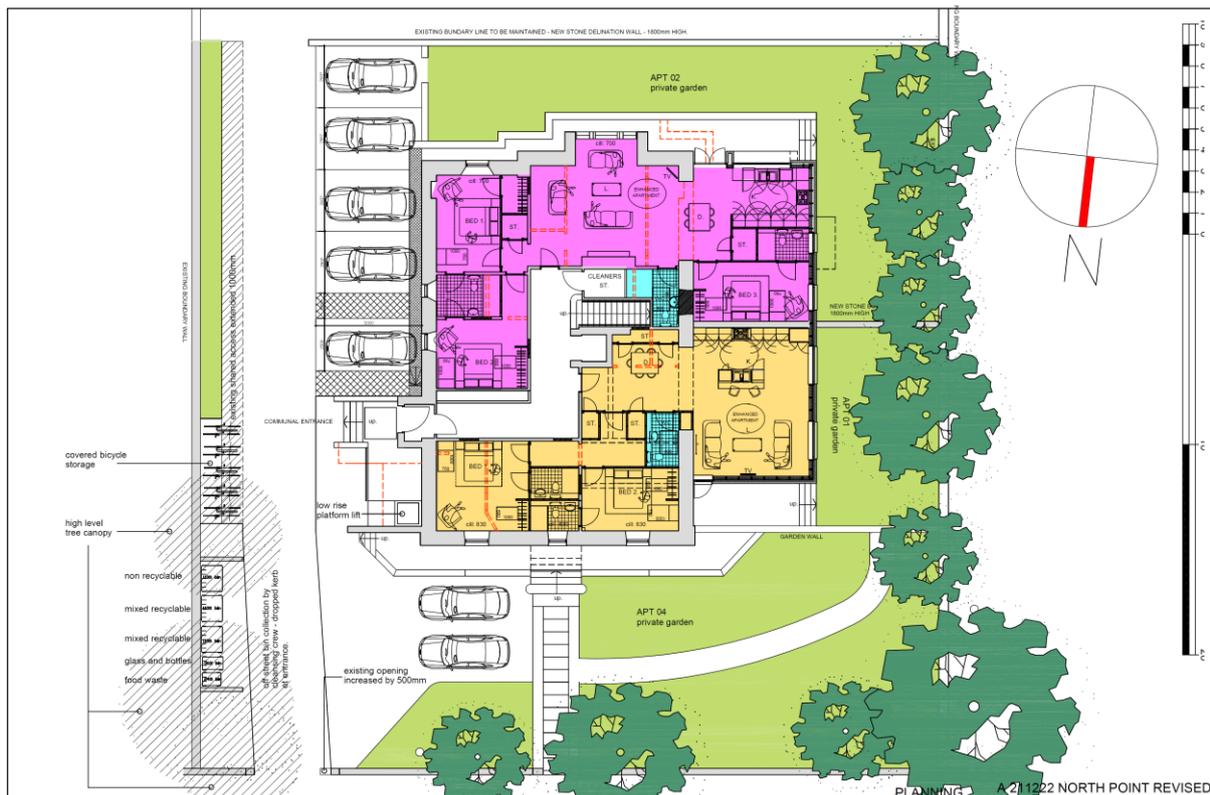


Site Photographs (24th January 2023)

2.4 Internally the building has been the subject of significant interventions to facilitate its former use as a care/nursing home including the introduction of en-suite facilities in all the bedrooms which have detracted from its character.

3. Description of Proposed Development

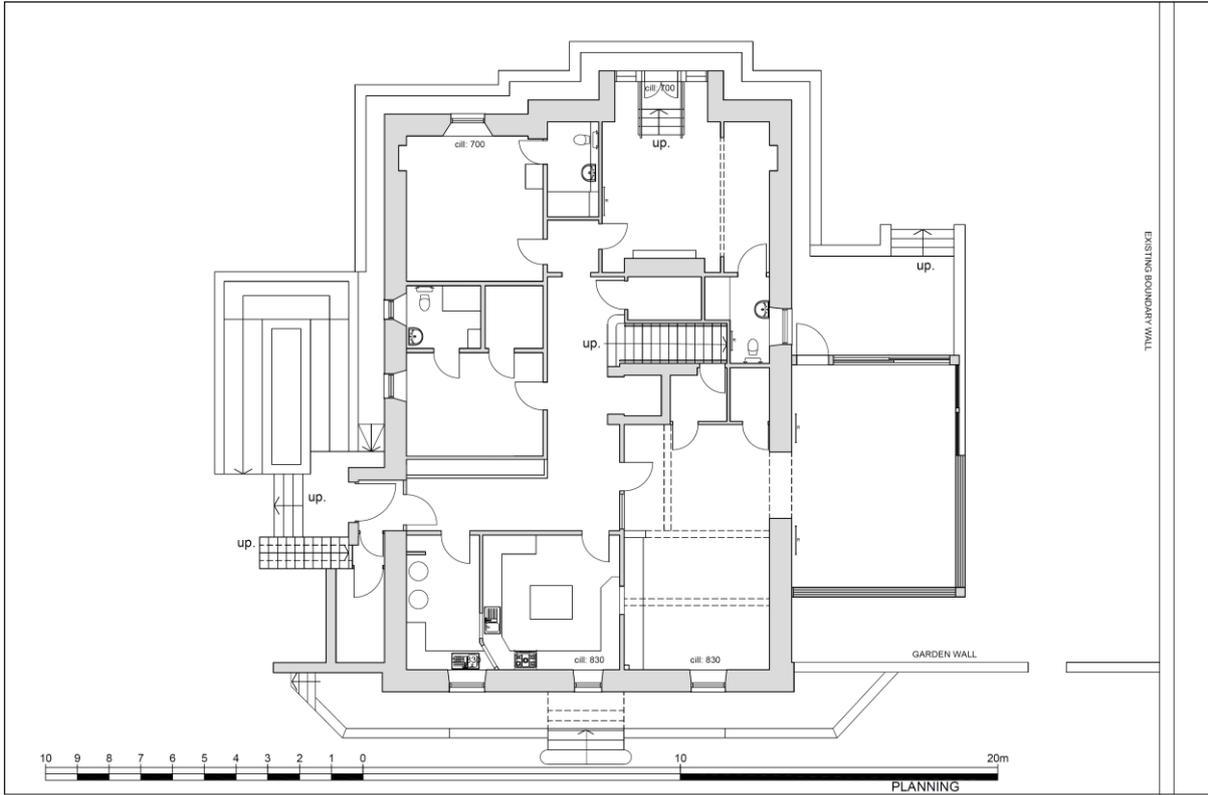
3.1 The application which had been submitted to and subsequently refused by the City of Edinburgh Council had sought planning permission for the demolition of the existing single storey extension on the western elevation; the erection of a new flat roofed extension accommodating three floors; along with other alterations within the building to facilitate it's change of use from a nursing/care home to 6 no. residential apartments. Other works proposed included the removal of the existing ramping system to the east of the building; the rationalisation of car parking arrangements and the provision of bin and bicycle storage arrangements.



Proposed Site Plan (Document 2k)

3.2 The proposed extension, which is contemporary in its appearance is set back from the front elevation of the property and sits below existing eaves level on the host building. Materials proposed in the extension include dressed buff sandstone block/cladding, zinc cladding, Ppc coated aluminium windows and spandrel panels (anthracite grey) and a painted metal balustrade (anthracite grey).

3.3 Space for 7 no. cars (1 per each apartment and 1 visitor space) are provided for within the grounds of the application site to the north and east of the building. A bin storage area and 10 no. cycle parking spaces are to be accommodated in the north east corner of the site next to the site entrance off Church Hill. Private Garden Areas measuring 67, 153 and 238 sq. metres are to be assigned to Apartment Nos. 1, 2 and 4 respectively. It is proposed that one tree (Category B Lawson Cyprus) to the south of the site be felled with a further two to undergo pruning works. An Arboricultural Impact Assessment outlining these works and reporting on the condition all of the trees within the site is attached as **Document 2y**.



Existing Ground Floor Plan (Document 2e)



Proposed Ground Floor Plan (Document 2l)